



WAIMAKARIRI
DISTRICT COUNCIL

AS BUILT TRUSS LAYOUT REQUIRED –

This must be received by the Building Unit
AT LEAST 10 WORKING DAYS PRIOR to the
Structure Pre-Roof Pre-Wrap Inspection

Truss “As-Built” Designs may be sent to:
buildinginfo@wmk.govt.nz

BC No: 201170

SITE DETAILS:

11 CRETE ROAD

RANGIORA

LEGAL:

LOT 41 DP 542543

APPROVED BUILDING CONSENT DOCUMENTS AND PLANS
(FULL SET SUPPLIED)

- ON SITE COPY -

- These plans and specifications must be kept on site during construction, and made available to the building officer on request. Failure to do so will mean an automatic failure of the building inspection and will necessitate re-booking the inspection at the applicant's expense.
- All boundary survey pegs must be located and flagged by the owner before work is commenced.

INSPECTIONS

for bookings or building enquiries

please phone the BUILDING UNIT on:

03 3118906

or

Email inspection bookings to: bcbooking@wmk.govt.nz

- Please refer to your inspection schedule for details of inspections to be carried out.
- 2-3 working day's notice should be given and provision made to allow access.
- The Code Compliance Certificate will be issued once the:
 - Final inspection has been carried out and passed
 - Audit of WDC building consent file has been completed
 - Payment of any outstanding invoices is received

GENERAL

1. Do not scale from drawings. These drawings are to be read in conjunction with the architectural drawings and all other related documents. Refer to architectural drawings for dimensions, rebates & recesses.
2. Contact the architect/engineer if any discrepancies are found.
3. Under no circumstances shall polystyrene spacers be used. Use recommended spacers as per details provided.
4. DPM shall be in accordance with NZS3604 (polyethylene sheet, min. 0.25mm). Do not use multiple layers. All penetrations through the DPM shall be sealed.
5. A layer of sand blinding or granular fines (GAP7) shall be placed, screeded and compacted over the building platform. The maximum thickness of this layer shall be no more than 50mm.
6. All service trenches shall be properly backfilled and compacted.
7. Where underfloor heating is installed, floor topping shall be increased to 110mm.
8. Where concrete polishing and/or architectural cuts are made to the floor, the floor thickness shall be increased such that the final topping depth is no less than that specified on the plans after all polishing/cuts.
9. Polystyrene pods shall be 1100 x 1100 x 220mm OR 1200 x 1200 x 220mm.
10. Edge beams and/or thickenings may be wider than shown (as necessary to accommodate off-cuts/wastage etc.). Add an additional HD12 in the bottom for every 100mm of additional concrete width.

CONCRETE

1. All concrete work and materials shall conform to NZS3109 and applicable building consent authority regulations.
2. No cuts shall be made to the floor other than those shown on the drawings.
3. Unless otherwise noted, concrete shall be:

Raftfloor: Ready Mix, 20MPa minimum OR 25MPa minimum within 'exposure zone D' (if in doubt, confirm with local BCA)

REINFORCEMENT

1. Unless otherwise specified, all reinforcement shall be Ductility Class E, in accordance with NZS 4671.
2. All bend diameters shall comply with NZS 3109. Re-bending of reinforcement is not permitted. 'Spot' welding of reinforcement is not permitted.
3. All mesh reinforcement shall be Ductility Class E as per NZS4671
4. Unless otherwise specified by proprietary product specifications, mesh shall be lapped a minimum of 250mm or by a grid plus 50mm, whichever is greater.
5. Unless otherwise specified on plans, minimum covers are:

exposed to earth: 75mm
 exposed to edge: 50mm
 protected by damp proofing: 50mm
6. Unless otherwise specified, reinforcement laps are:

Reinforcement Grade	Nomination	min. lap when less than 300mm of concrete below steel	min. lap when more than 300mm of concrete below steel	concrete strength (MPa)
300	'D'	40Ø or min. 600mm (whichever is greater)	52Ø or min. 600mm (whichever is greater)	all blockfill, 20 and 25
500	'HD'	70Ø	91Ø	all blockfill
500	'HD'	56Ø	73Ø	20
500	'HD'	50Ø	65Ø	25

*Note: for lap of vertical bars, use values for "when less than 300mm of concrete below steel"

SITE CONDITIONS

1. Design based on Fill Certification Report, Geotechnical Summary Letter and Bulk Earthworks Technical Specification
 By: Tonkin + Taylor Limited Ref: 53413.006 Dated: 16 January, 2020
 By: Tonkin + Taylor Limited Ref: 53413.006 Dated: 09 October, 2018
 By: Tonkin + Taylor Limited Ref: 53413.006 Dated: September, 2015

Specifically: Design based on all topsoil/unsuitable material removed (to an approximate depth of 200mm), uniform non-expansive soils and assumes the subdivisional engineered silt fill platform covers the entire site. A 'condition roll' of the exposed subsoils is necessary to mitigate loose soil and ensure near-surface soils achieve a static Ultimate Bearing Capacity (UBC) of 200 kPa, subject to engineers confirmation at the site cut inspection. If topsoil/organic material is to be replaced, it shall be with hard fill (such as AP40 etc.) suitably compacted, suitably compacted to achieve a static UBC of 200 kPa, subject to engineers confirmation at the fill compaction inspection.

2. Building platform, where filled above CGL/FGL, shall be extended a minimum of 1000mm beyond the building footprint before forming any battered slope.
3. Where suitably compacted hard fill (to replace excavated material) is required to form building platform, the fill/excavation shall be extended past the building edge by at least the depth being excavated.

4. Confirm position & depth of all public pipes on the site, prior to any works. If different to the site plan then Wilton Joubert Limited shall be contacted for possible foundation redesigns.

5. Building foundations shall remain outside of the 45° influence line originating at the invert level of any public pipes or manholes. If contrary to this, Wilton Joubert Limited shall be contacted for possible foundation redesigns.

6. The exposure of unusual or soft ground conditions, or any future update of MBIE's guidelines or the NZBC, may require geotechnical review.

INSPECTIONS

1. Check the BUILDING CONSENT CONDITIONS for any inspections that are required by the Building Consent Authority (BCA).
2. It is increasingly common for building consent authorities to require a "PS4" for specifically designed structures. For Wilton Joubert Ltd. to issue this, we need to carry out inspections as per the building consent requirements. Ring Wilton Joubert Ltd. local office to arrange a booking.

NO INSPECTION EQUALS NO PS4 ISSUED.

3. Recommended Inspections:

- Site cut to suitable subgrade (This may be carried out by Wilton Joubert Ltd. or by the author of the geotechnical report).
- Compaction of fill (This may be carried out by Wilton Joubert Ltd. or by the author of the geotechnical report).
- Raft floor pre-pour.

It is the building consent applicant's (or authorised agent) responsibility to ensure that Wilton Joubert Ltd. is notified in advance of the required inspection. We cannot issue PS4 for items we did not inspect. Bookings should be made 48 hours prior to the desired time of inspection.

WAIMAKARIRI DISTRICT COUNCIL
 Plans and specifications APPROVED in accordance
 with the Building Act 2004, clause 49 and the Building
 Regulations 1992, Clause 3
 BC201170 9/12/2020 nicolah

Building Consent BC201170
 Received 17/11/20

NOTES:
 Do not scale from Drawings.
 Refer Architectural Drawings for
 overall dimensions. To be read in
 conjunction with all other related
 documents.

Revision	Description	Date



WILTON JOUBERT

Consulting Engineers

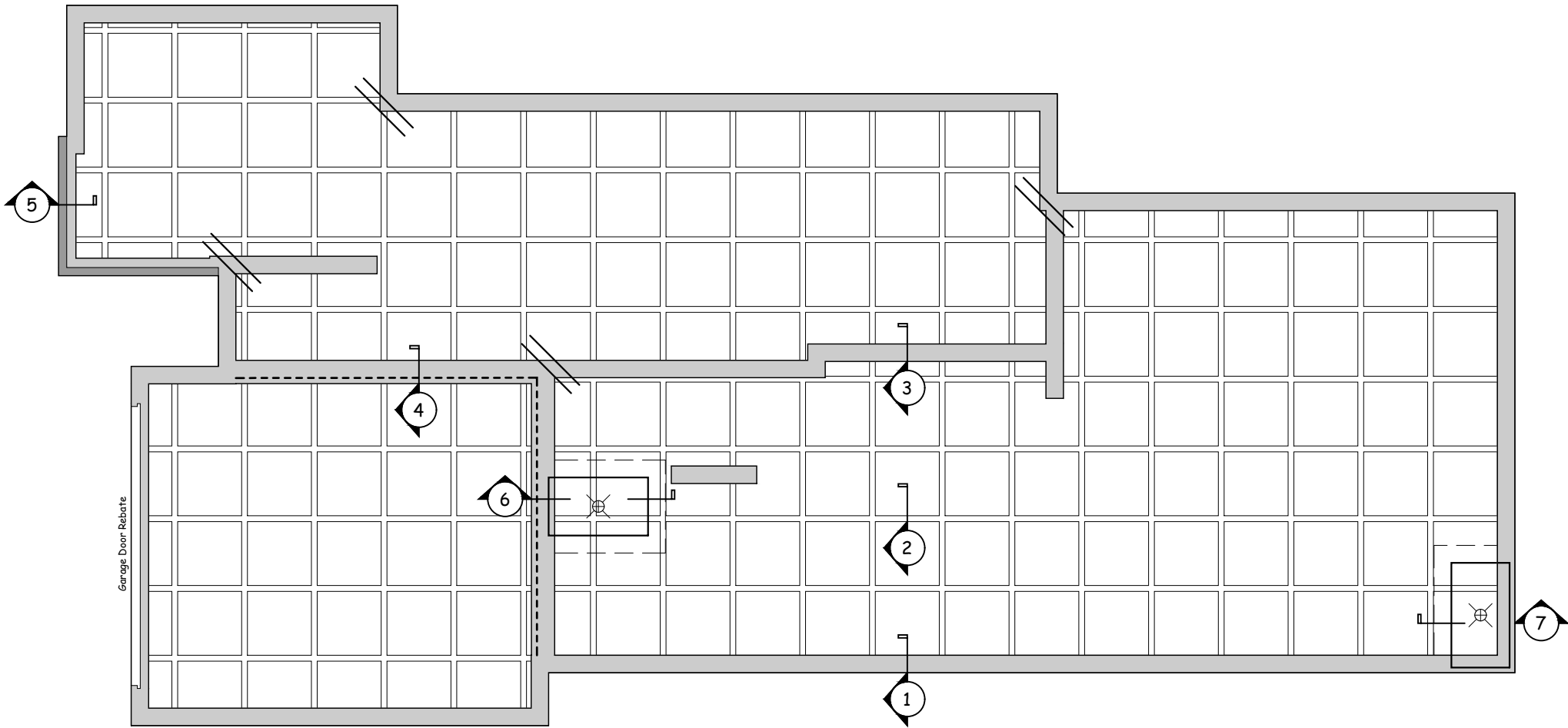
Northland: 09 945 4188
 Auckland-Waikato: 09 527 0196
 Canterbury: 021 824 063
 Southern Lakes: 03 443 6209
www.wiltonjoubert.co.nz

Job Title:
 Proposed Residence
 Lot 41
 11 Crete Road
 Rangiora

Sheet Title:
 General Notes


Prepared	RC	Drawn	MH
Checked	DL	Reviewed	
Scaled		Date:	27-10-2020
Job # 101272			Draw No: 50


Building Consent BC201170
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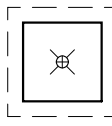


Raft Floor Plan
 Scale 1:100

Legend:

- 

Re Entrant corner steel
2/HD12 x 1200mm
at 200 crs
- 

6mm sawcut
100mm deep do not
cut into edge beam
- 

Shower setback:
pods within area of shower + 300mm
are cut down by 50mm max
so as to maintain 85mm topping
HD12 trim around top.
Steel in ribs, thickenings and
edge beams continuous through

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Quantities of Spacers (Quantities are approximate and to be used as a guide only)	
Item	Qty.
WJ100 Centre Spacer	265
WJ101 Clip-on Spacer	110

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WILTON
 JOUBERT
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Canterbury: 021 824 063

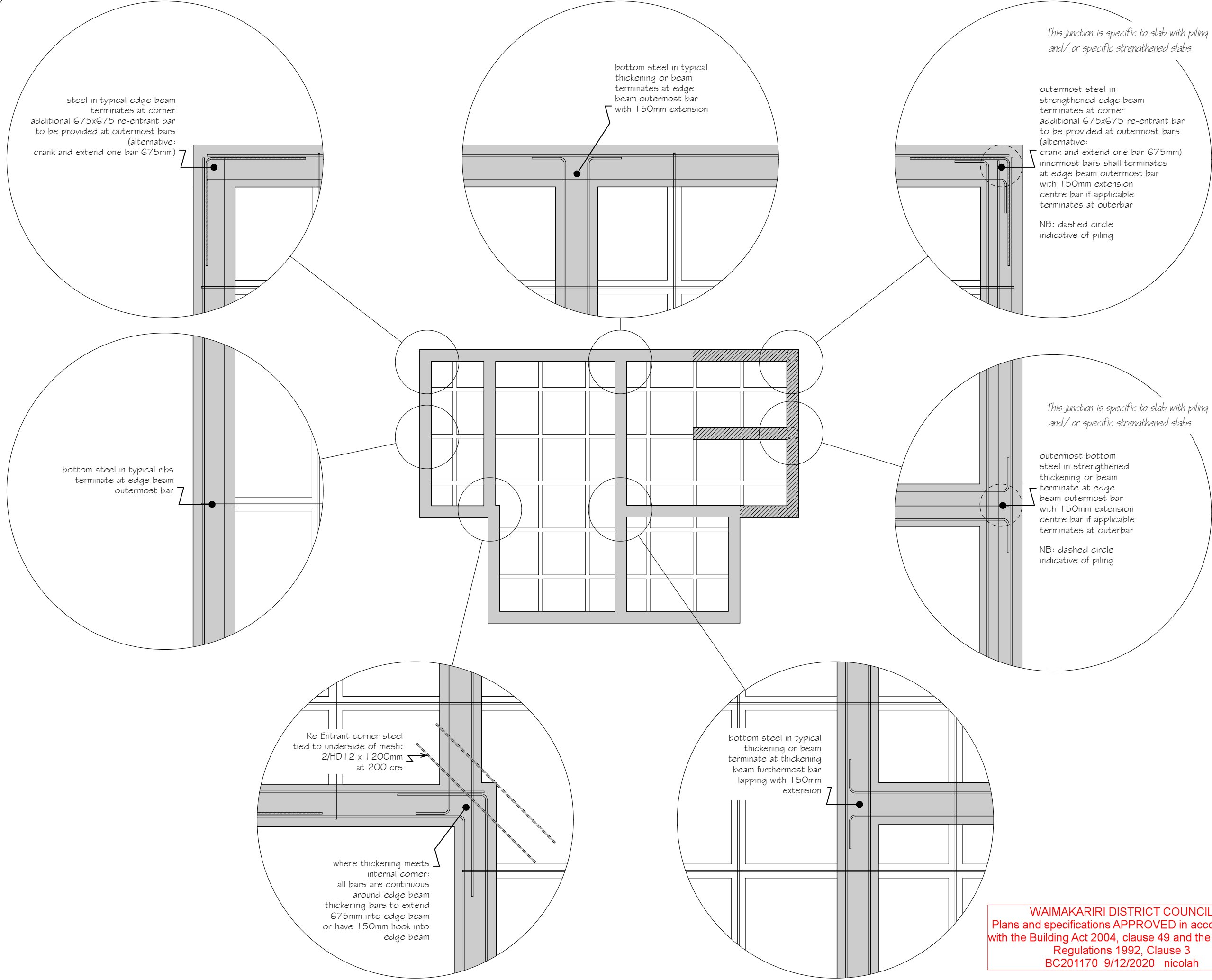
Southern Lakes: 03 443 6209

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Job Title:
 Proposed Residence
 Lot 41
 11 Crete Road
 Rangiora

Sheet Title:
 Raft Floor
 Plan

Designed RC	Drawn MH
Checked DL	Revised
Scale: 1:100	Date: 27-10-2020
Job # 101272	
S1	



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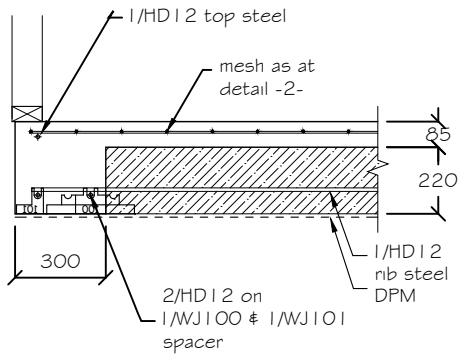
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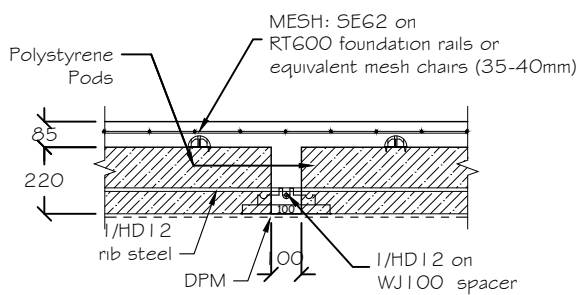
Sheet Title:
 Typical Steel
 Detailing

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 BC201170 9/12/2020 nicolah

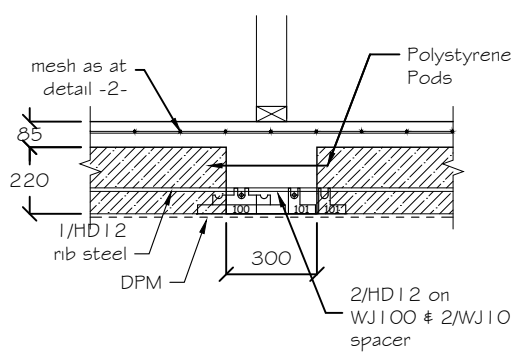
Designed RC	Drawn MH
Checked DL	Reviewed
Scale:	Date: 27-10-2020
Job # 101272	Page No: S0.1



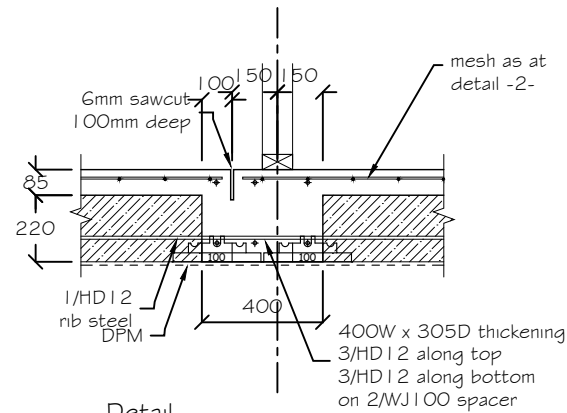
1 Detail
 Raftfloor Edge Beam - 300
 Scale 1:25



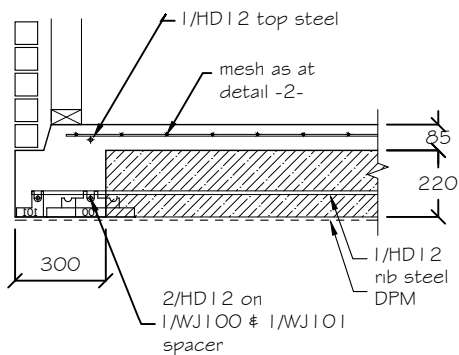
2 Detail
 Raftfloor Internal Rib - 100
 Scale 1:25



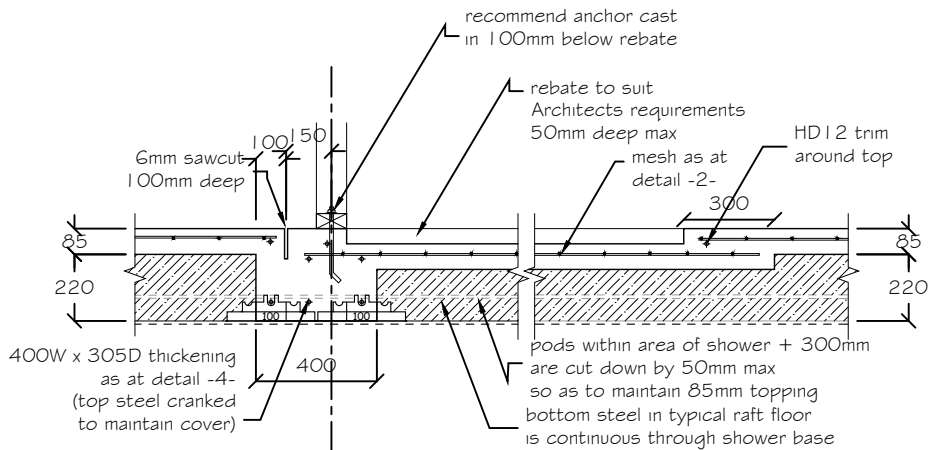
3 Detail
 Raftfloor Internal Rib - 300
 Scale 1:25



4 Detail
 Raftfloor Internal Rib - 400
 with Sawcut
 Scale 1:25

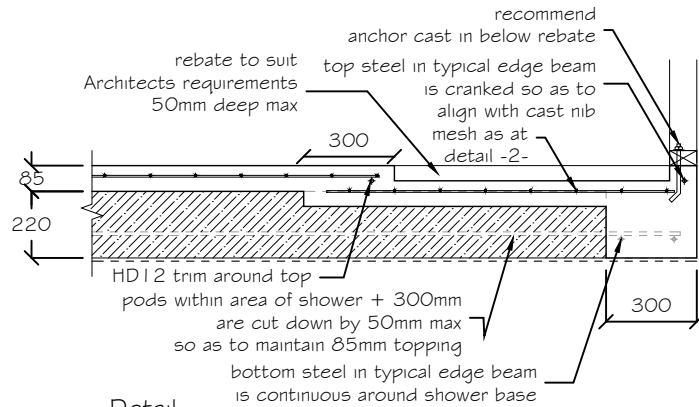


5 Detail
 Raftfloor Edge Beam - 300
 Scale 1:25



6 Detail
 Raftfloor Shower Setdown
 with Sawcut
 Scale 1:25

NOTE:
 Allow for Pads, Ribs and or
 Thickenings as may be shown on plan



7 Detail
 Raftfloor Shower Setdown at
 Edge Beam - 300
 Scale 1:25

NOTES:

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Consulting Engineers

Northland: 09 945 4188
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Job Title:

Proposed Residence
 Lot 41
 11 Crete Road
 Rangiora

Sheet Title:

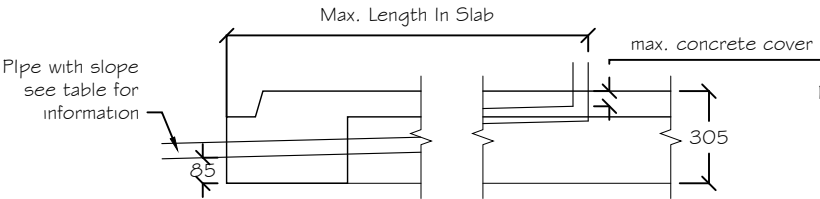
Raft Floor
 Details

Prepared: RC	Drawn: MH
Checked: DL	Revised: 1:1
Scale: 1:25	Date: 27-10-2020
Job # 101272	Sheet No: S2.1

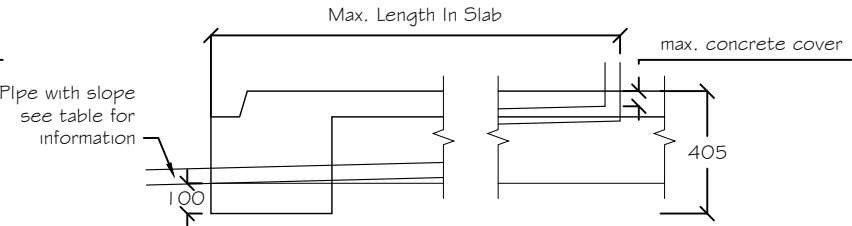
WAIMAKARIRI DISTRICT COUNCIL
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 BC201170 9/12/2020 nicolah

NOTES:

Maximum Horizontal Travel of Pipe

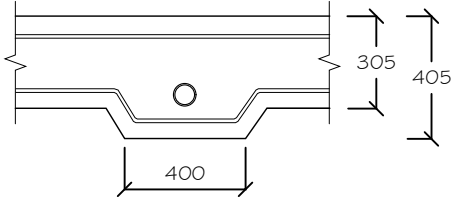


Detail O1: Pipe Within Floor Depth



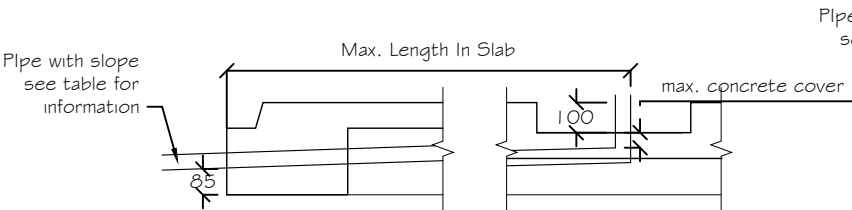
Detail O2: Pipe Within Floor Depth -
 With Local Deepening Of Edge Beam

NOTE:
 Minimum lapping length of 675mm for HD12 bar
 if required

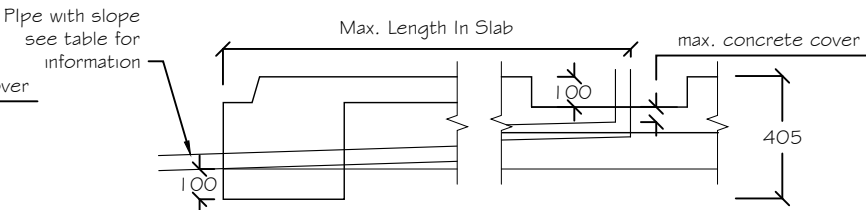


Cross-Section For Detail O2:
 Pipe Within Floor Depth - With Local
 Deepening Of Edge Beam

Maximum horizontal travel of pipe from shower recess (if required)

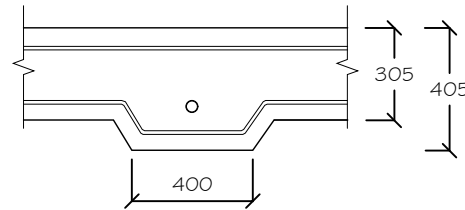


Detail O3: Pipe within floor depth



Detail O4: Pipe within floor depth -
 with local deepening of edge beam

NOTE:
 Minimum lapping length of 675mm for HD12 bar
 if required




Cross-section:
 Within floor depth - with local
 deepening of edge beam

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Option	Pipe Diameter		Slope	Max. Concrete Cover	Max. Length in Slab (mm)			
	Internal Ø	Approx.External Ø			Detail O1	Detail O2	Detail O3	Detail O4
	(mm)	(mm)		(mm)	(mm)	(mm)	(mm)	(mm)
A1	32	40	1:20	50	2600	4300	—	—
A2	40	50	1:30		3600	6150	—	—
A3	40	50	1:40		—	—	—	—
A4 (shower recess)	40	50	1:40		—	—	2800	6200
A5	50	60	1:40		4400	7800	—	—
A6	100	115	1:60	100	300	5400	—	—

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 Lot 41
 11 Crete Road
 Rangiora

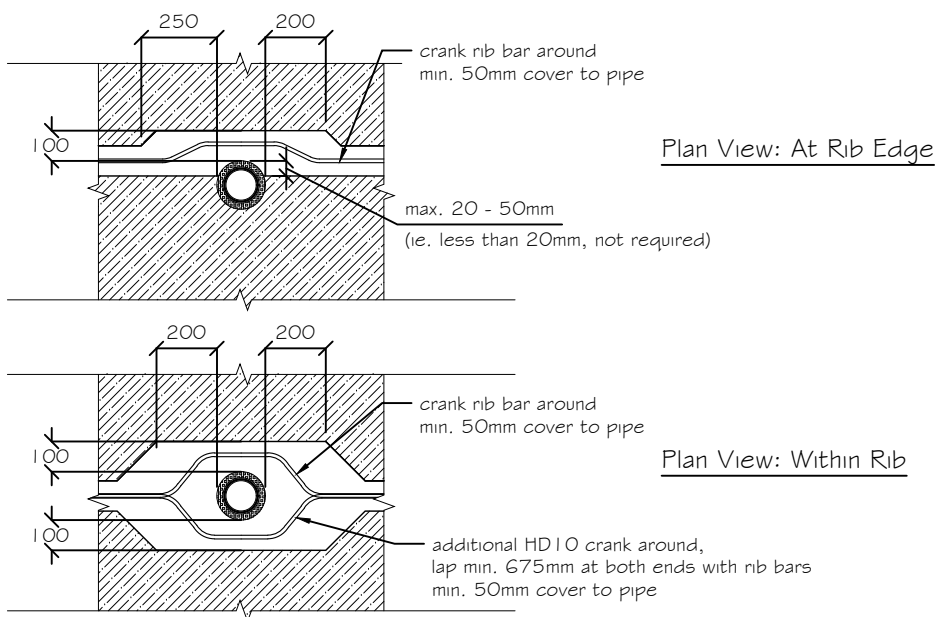
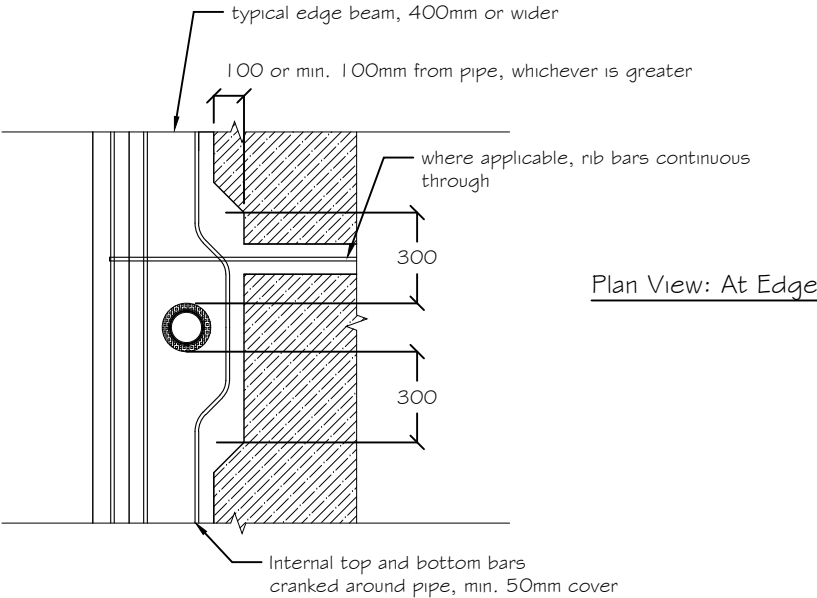
Sheet Title:
 In-floor
 Drainage Details

Designed RC	Drawn RC
Checked NL	Checked DL
Scale 1:25	Date 27-10-2020
Job No Job # 101272	Draw No D1

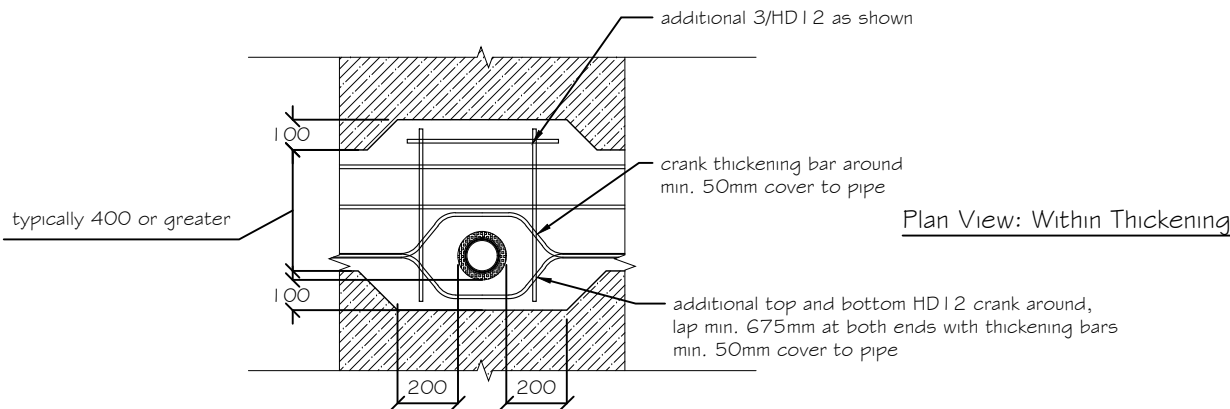
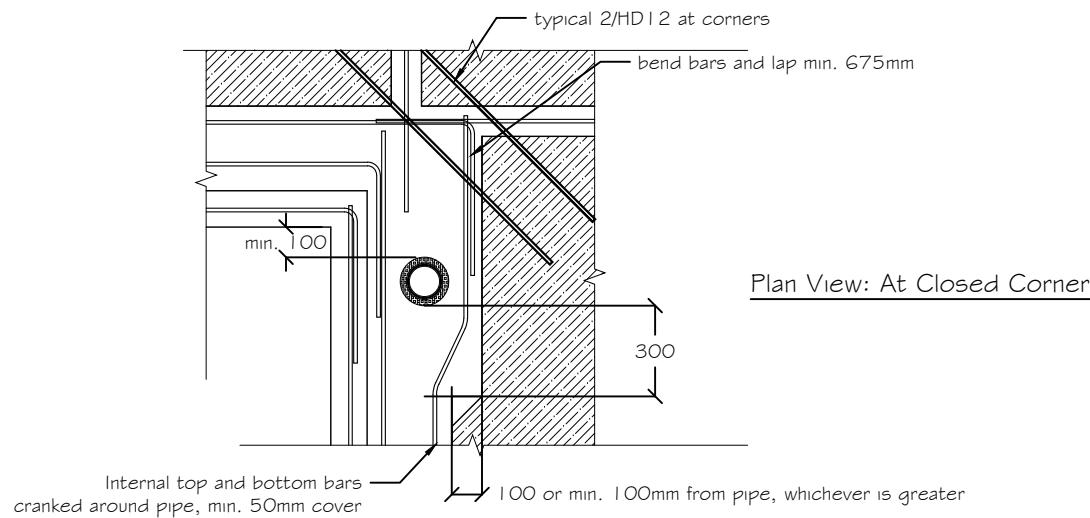
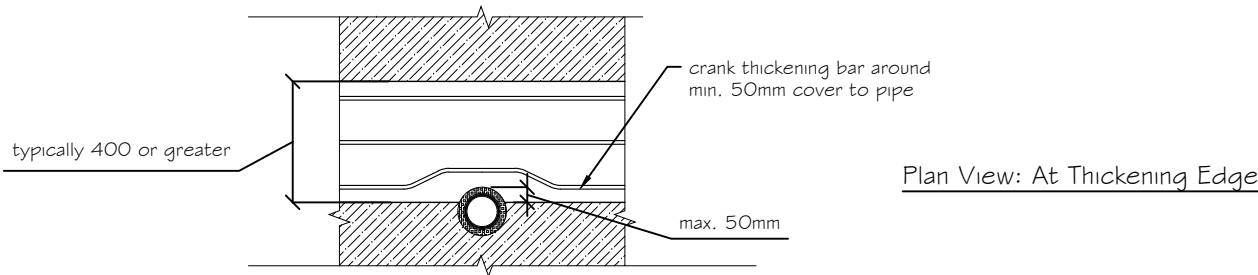
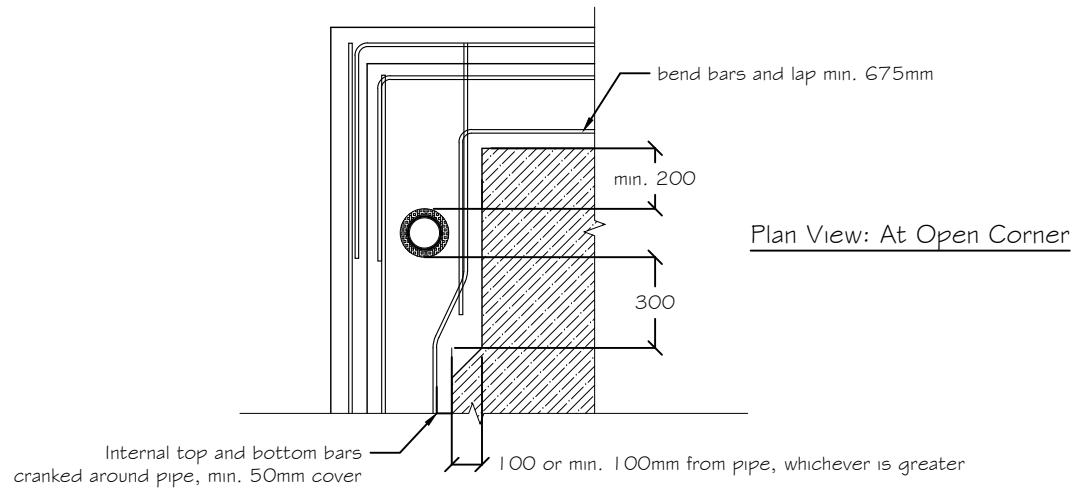
Building Consent BC201170
 Received 17/11/20

NOTES:

- Member sizes and reinforcing shown are indicative only, details shown on raftslab plan & details shall take precedence over the details shown here.
- Also refer to separate details for pipes running within floor depth.



Typical Detail Around Pipes
 Raftfloor Internal Ribs



Typical Detail Around Pipes
 Raftfloor Internal Thickenings

Typical Detail Around Pipes
 Raftfloor Edge Beam

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Job Title:
 Proposed Residence:
 Lot 41
 11 Crete Road
 Rangiora

Sheet Title:
 In-floor
 Drainage Details

Designed RC	Drawn RC
Checked NL	Checked DL
Scale 1:25	Date 27-10-2020
Job No. Job # 101272	Draw No. D2

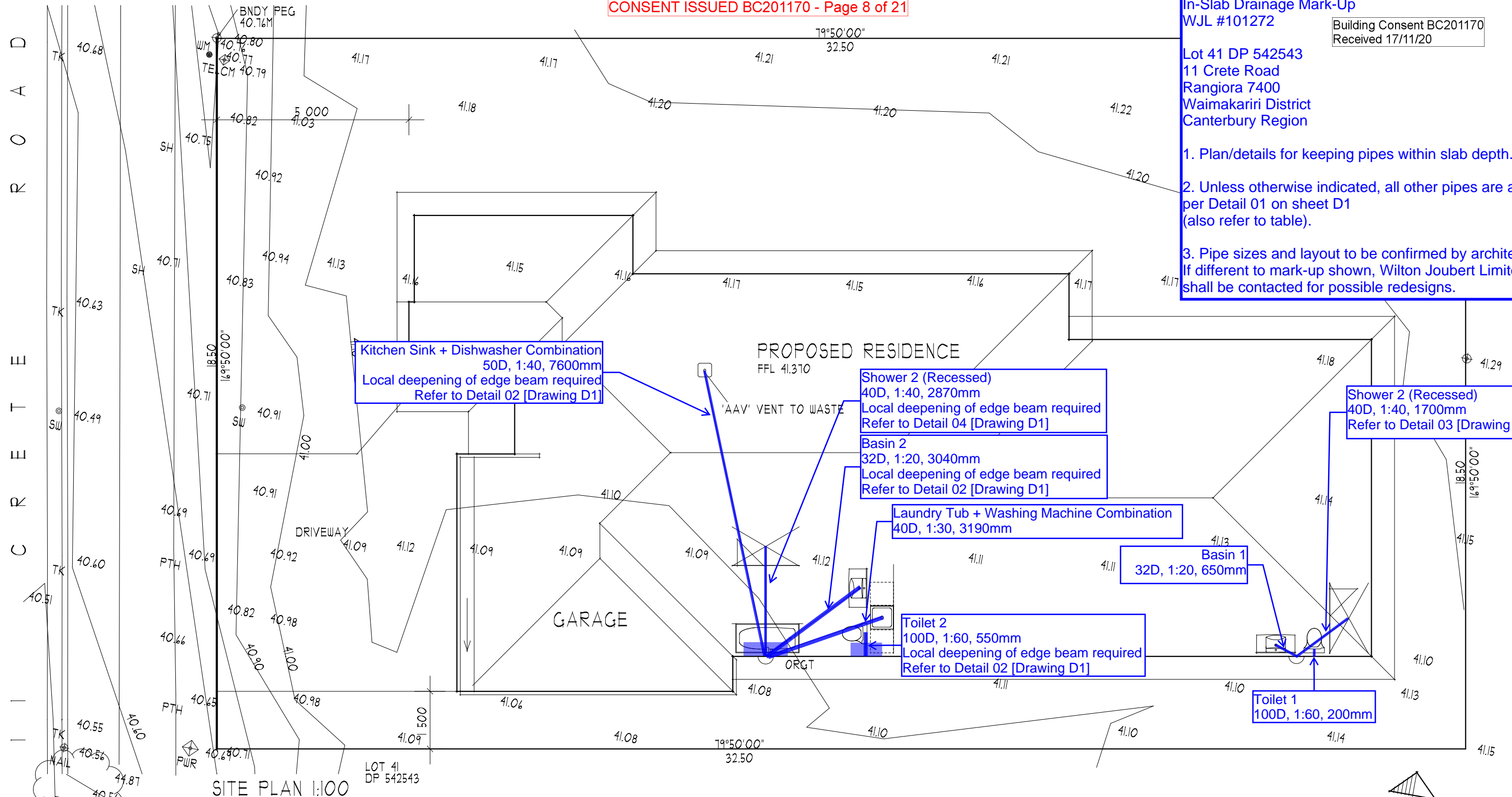
In-Slab Drainage Mark-Up

WJL #101272

Building Consent BC201170
Received 17/11/20

Lot 41 DP 542543
11 Crete Road
Rangiora 7400
Waimakariri District
Canterbury Region

1. Plan/details for keeping pipes within slab depth.
2. Unless otherwise indicated, all other pipes are as per Detail 01 on sheet D1 (also refer to table).
3. Pipe sizes and layout to be confirmed by architect. If different to mark-up shown, Wilton Joubert Limited shall be contacted for possible redesigns.



MINIMUM REQUIREMENTS FOR WASTE PIPES G13/AS1

SHOWER WASTE :	40 MM AT 1 IN 40
BASIN WASTE :	32 MM AT 1 IN 20
WC WASTE :	100 MM AT 1 IN 60
TUB WASTE :	40 MM AT 1 IN 30
SINK WASTE :	50 MM AT 1 IN 40
'AAV' VENT TO WASTES OVER 3.500 M LONG	
ALL TOILETS TO BE VENTED IN ACCORDANCE WITH G13/AS1 TABLE 5	

DRAIN LEAK TEST IS TO BE CARRIED OUT AS REQUIRED BY CLAUSE 8.0 EI/AS1 AND CLAUSE 6.0 G13/AS2.

ORGT - GULLY TRAP 150 MM BELOW FFL
MIN 100 MM ABOVE GROUND

GROUND CLEARANCES TO GROUND:
-TO PAVING, DRIVEWAY 150MM
-NATURAL GROUND 225 MM

TEMPORARY FENCE TO COMPLY WITH
NZBC F5 CONSTRUCTION AND DEMOLITION
HAZARDS

NOTE: " BEDDING " AND " BACKFILLING " OF DRAINS
COMPLIANT WITH G13/AS2 FIG 1

NOTE: ALL DOWNPIPES 63 MM DIAMETER

NOTE: DRAINS LAID AT A GRADIENT OF 1:80 OR LESS
A VARIABLE LEVELLING DEVICE SHALL BE USED TO
ENSURE UNIFORM AND ACCURATE GRADIENTS.
(G13/AS2 CLAUSE 5.22)

NOTE: SEE OWNER FOR CLOTHESLINE , LETTERBOX
BIN , HEAT PUMP UNIT (IF APPLICABLE) AND
FENCES AND GATES

→ = 1:100 FALLS TO PAVING

NOTE: ALL ENTRIES AND EXITS TO COMPLY WITH
N.Z.B.C., DI, ASI . TREAD MINIMUM 280 MM , RISER
MAXIMUM 190 MM. NON-SLIP FINISH TO TREADS

NOTE: SLIP RESISTANCE FOR WALKING SURFACES TO BE
COMPLIANT WITH DI - ASI TABLE 2 , CLAUSE 2.1.1 AND
COMMENTS 1 AND 2

DRAIN SCHEDULE

IP	INSPECTION POINT
DP	DOWNPIPE
RP	RODDING POINT
GT	GULLY TRAP

AREAS:

PROPOSED RESIDENCE	240.24 M ²
LAND	601 M ²
SITE COVERAGE	39.91 %

- BUILDING WRAP IS TO BE FIXED OVER SILLS AND OPENING STUDS
- FLEXIBLE FLASHING TAPE IS REQUIRED TO LINTELS AND 250 MM DOWN OPENING STUDS AT EITHER END
- FLEXIBLE FLASHING TAPE IS REQUIRED TO SILL TRIMERS AND 150 MM UP OPENING STUDS AT EITHER END
- FLASHING TAPE IS ALSO REQUIRED 250 MM IN EITHER DIRECTION AT UPPER CORNERS OF WINDOWS AND DOORS
- AS THE BUILDING WRAP / PAPER EXTENDS AROUND AND IS FIXED TO THE UNDERSIDE OF THE LINTEL THE HEAD FLASHINGS NEED TO BE SEALED TO THE BUILDING WRAP WITH 50 MM WIDE FLASHING TAPE

- WANZ BARS
- ADDITIONAL SILL SUPPORT TO ALL WINDOW / DOOR JOINERY IE WANZ BARS

OB OBSCURE GLAZING

SG SAFETY GLASS TO COMPLY WITH THE REQUIREMENTS OF NZS 4223.3:2016 2.1.1 AND TABLE 1

LARGE PANES OF GLASS ARE SAFETY GLASS IF WITHIN 800MM OF FLOOR AND EXCEED 500MM WIDE AND 1000MM HIGH. PLEASE ALSO CONFIRM THAT ALL GLAZING WITHIN 800MM OF THE FLOOR IS EITHER 5MM FLOAT GLASS OR SAFETY GLASS.

CORROSION ZONE B
 WIND ZONE - HIGH
 EARTHQUAKE ZONE - 2
 SNOW ZONE - N4 44.00 M

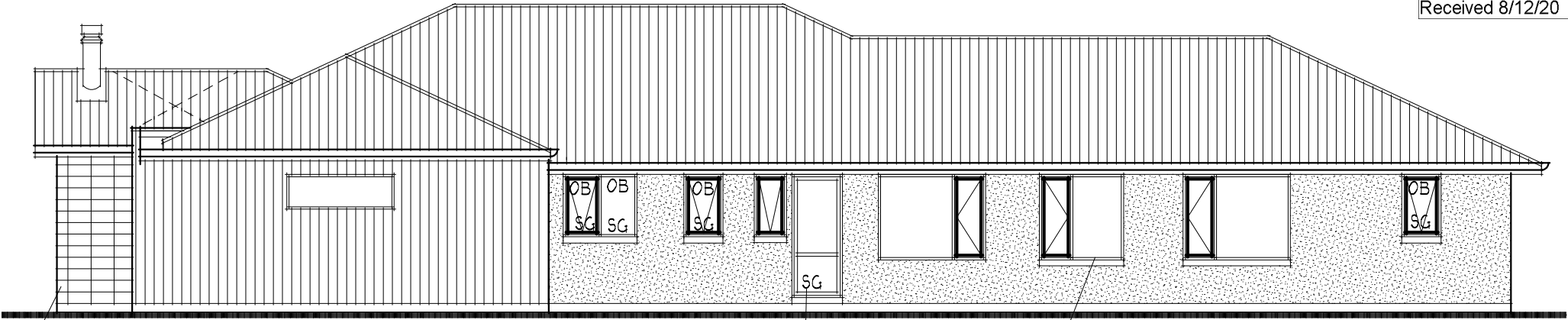
NORTH ELEVATION				
RISK FACTOR	LOW	MEDIUM	HIGH	VERY HIGH
WIND ZONE			1	
NUMBER OF STOREYS	0			
ROOF/WALL INTERSECTION DESIGN	0			
EAVES WIDTH	0			
ENVELOPE COMPLEXITY	0			
DECK DESIGN	0			
TOTAL RISK FACTOR	1			
SOUTH ELEVATION				
RISK FACTOR	LOW	MEDIUM	HIGH	VERY HIGH
WIND ZONE			1	
NUMBER OF STOREYS	0			
ROOF/WALL INTERSECTION DESIGN	0		3	
EAVES WIDTH				5
ENVELOPE COMPLEXITY			3	
DECK DESIGN	0			
TOTAL RISK FACTOR	12			
WEST ELEVATION				
RISK FACTOR	LOW	MEDIUM	HIGH	VERY HIGH
WIND ZONE			1	2
NUMBER OF STOREYS	0			
ROOF/WALL INTERSECTION DESIGN			3	5
EAVES WIDTH				5
ENVELOPE COMPLEXITY			3	
DECK DESIGN	0			
TOTAL RISK FACTOR	12			
EAST ELEVATION				
RISK FACTOR	LOW	MEDIUM	HIGH	VERY HIGH
WIND ZONE			1	
NUMBER OF STOREYS	0			
ROOF/WALL INTERSECTION DESIGN			3	
EAVES WIDTH				5
ENVELOPE COMPLEXITY			3	
DECK DESIGN	0			
TOTAL RISK FACTOR	12			

Note: A BUILDING LOCATION CERTIFICATE (BLC) is REQUIRED 2 Working Days BEFORE the PrePour Inspection to verify the setout of the Finished Floor Level. The builder is required to tie back this FFL to a known LINZ Survey Mark (revised in January 2018). Please check with your surveyor that referenced Benchmark Datum heights are correct.

The minimum Finished Floor Level (FFL) for the proposed dwelling site identified in BC201170 at 11 CRETE ROAD RANGIORA (LOT 41 DP 542543) is 41.10 m in terms of Lyttelton Vertical Datum 1937, origin of levels MA II DP 451472 (RL: 41.65 as at 2014). This level is based on Consent notice on title.

WAIMAKARIRI DISTRICT COUNCIL
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SECTION 37 OF THE BUILDING ACT APPLIES TO THIS CONSENT
 AN APPLICATION HAS BEEN APPLIED FOR AT THE TIME OF GRANTING THIS CONSENT
 Until The Resource Consent Has Been Granted Refer To The Special Conditions Of The Building Consent For The Extent Of Work, If Any, That Can Be Carried Out



SOUTH ELEVATION 1:100

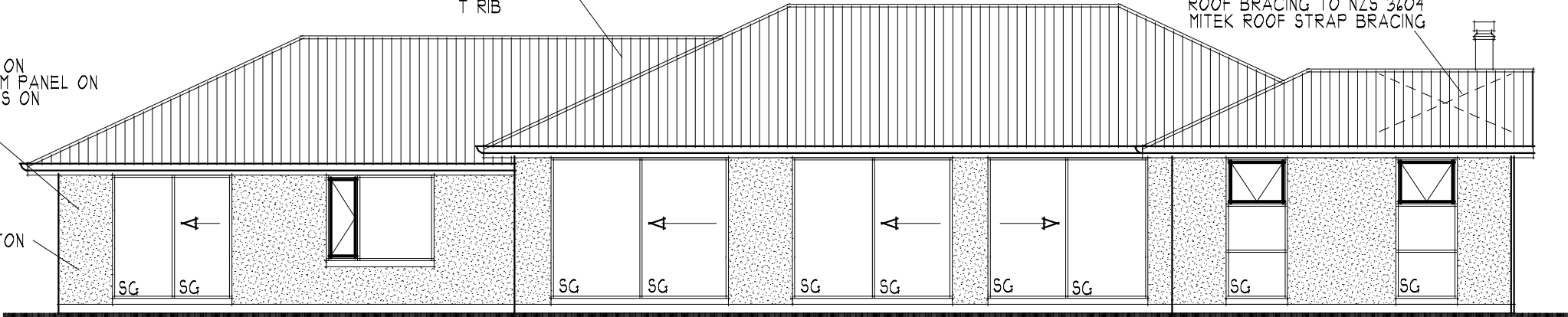
EVERY UNIT ON CORNER SHALL BE TIED

COLOURSTEEL ROOF T RIB

ROOF BRACING TO NZS 3604 MITEK ROOF STRAP BRACING

PLASTER FINISH ON CLADD-X 50 MM PANEL ON CAVITY BATTENS ON BLG. WRAP

BLG. WRAP TEKTON



NORTH ELEVATION 1:100

PROVIDE TIES AT 400 CRS HORIZONTAL AND VERTICAL ON DIAMOND PATTERN

PROVIDE VERTICAL CONTROL JOINTS AS REQUIRED BY NZS 4210 AND NCBZ/E2

EVERY UNIT ON CORNER SHALL BE TIED

VENEER TIES SHALL BE
 - 95 MM LONG (MIN) MEDIUM DUTY (EM) TIES
 WITH MIN 45 MM MORTAR EMBEDMENT
 - FIX WITH 8G X 35 SS POSI-DRIVE WOOD SCREWS

NOTE: DWANGS AT 400 CRS TO GABLE END TRUSS

90 SERIES CONCRETE BLOCK STACK BOND

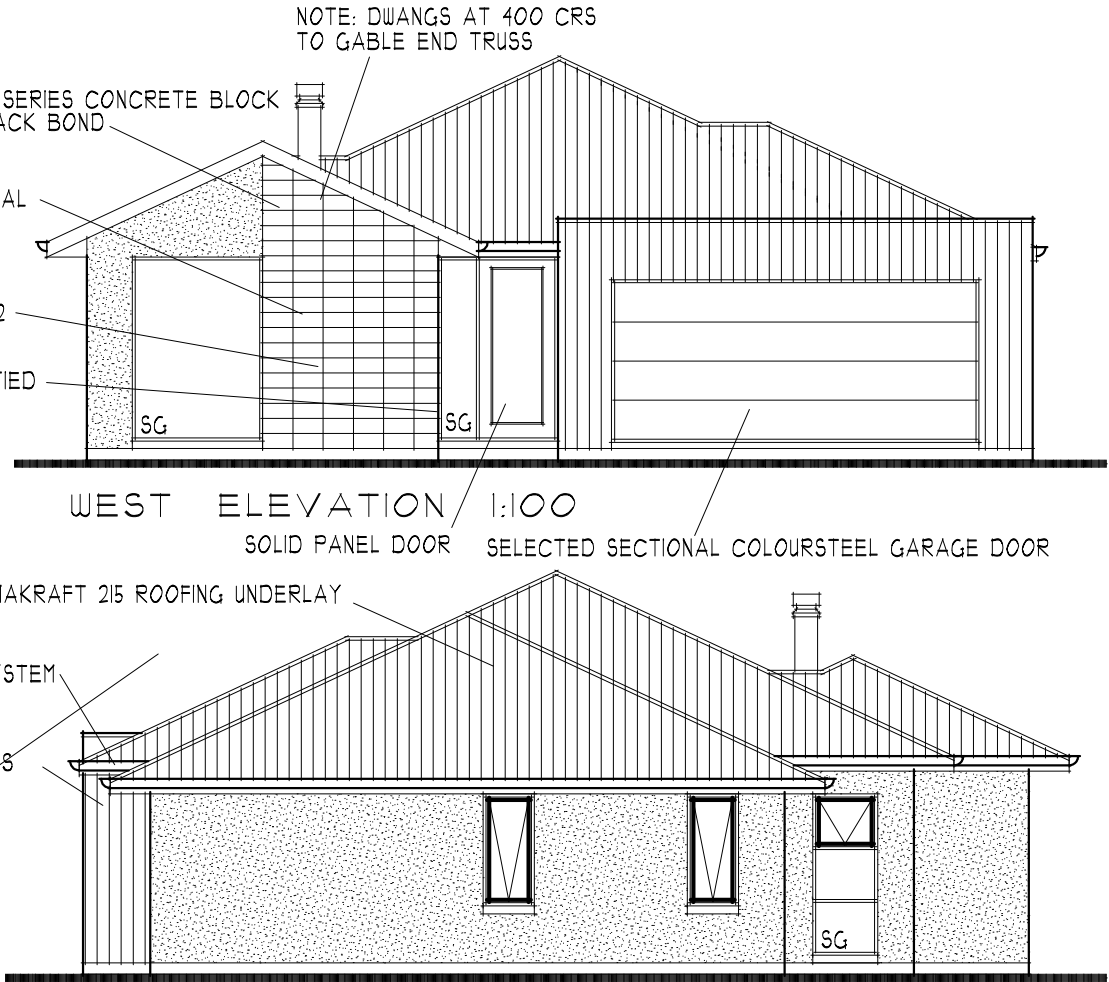
WEST ELEVATION 1:100

SOLID PANEL DOOR SELECTED SECTIONAL COLOURSTEEL GARAGE DOOR

THERMAKRAFT 215 ROOFING UNDERLAY

PROPRIETARY COLOURSTEEL FASCIA AND GUTTER SYSTEM

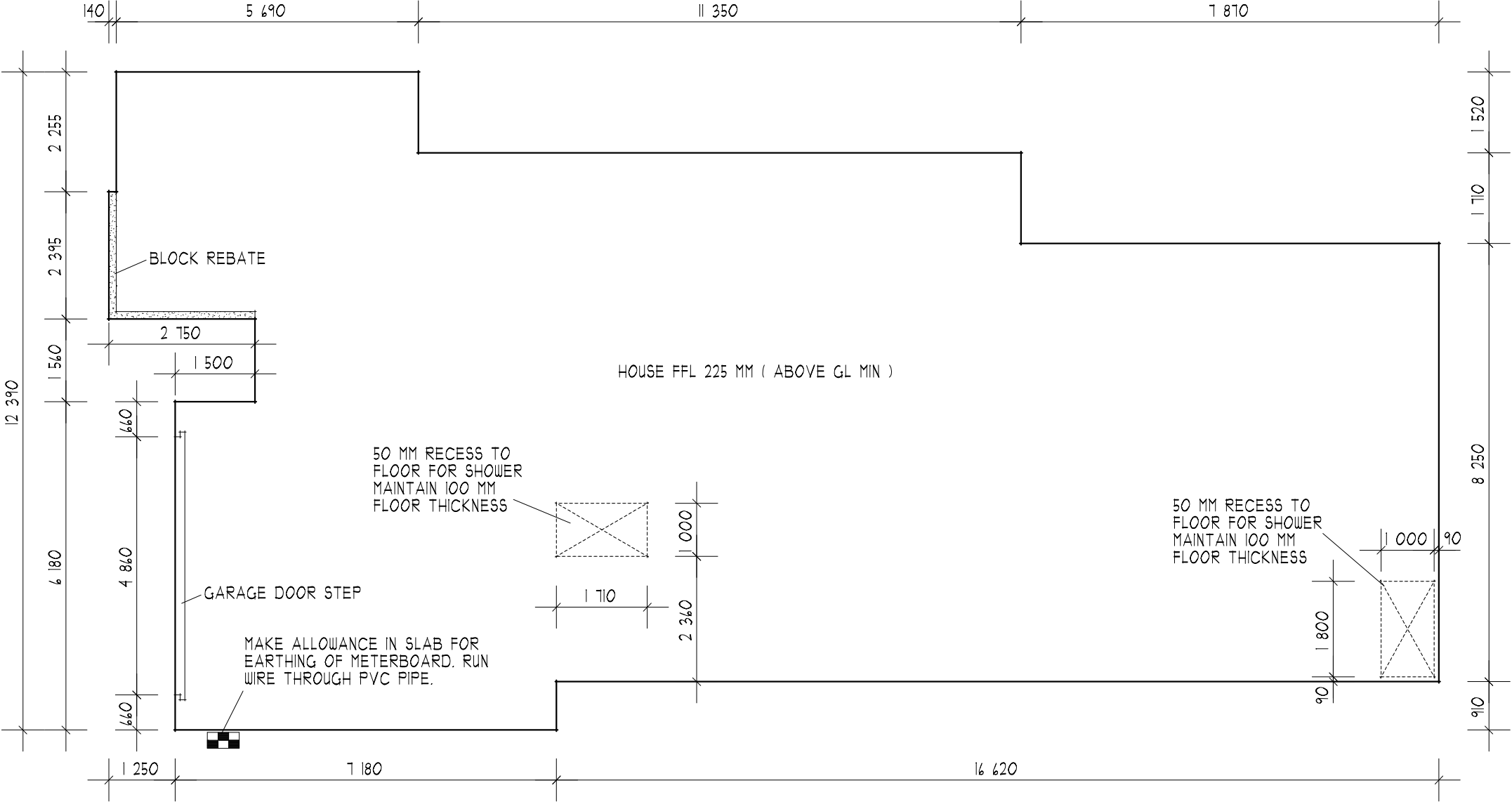
LINEA OBLIQUE VERTICAL BOARD AND CAVITY BATTENS



EAST ELEVATION 1:100




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 704 HILLS ROAD
 CHRISTCHURCH 8051
 PH/FAX 03 386 2502
 EMAIL: dixondesign@xtra.co.nz
 ALL PLANS TO BE READ IN CONJUNCTION WITH THE SPECIFICATIONS AND ENGINEER'S DETAILS. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE BEFORE COMMENCING WORK. WRITTEN DIMENSIONS ARE TO TAKE PRIORITY OVER SCALED DIMENSIONS.

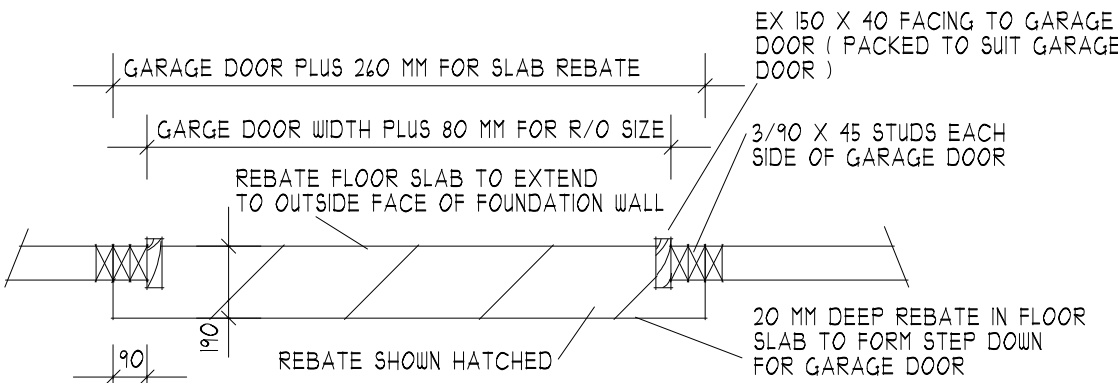
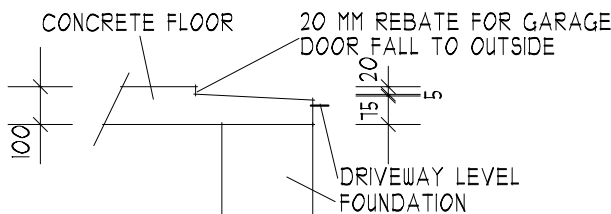
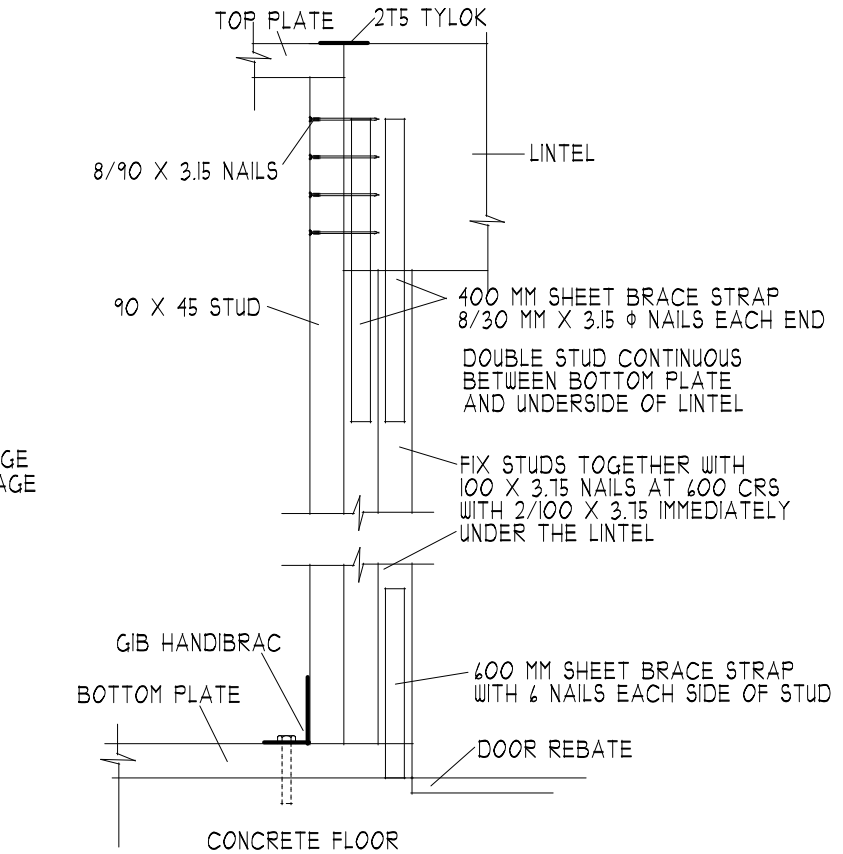


NOTE:
 ALL DIMENSIONS OVER FOUNDATION FACE.
 ALLOW 90 MM VENEER AND 50 MM CAVITY WHERE SHOWN.
 CONTRACTOR TO CONSULT MANUFACTURERS
 DOCUMENTATION TO DETERMINE THE CORRECT
 LOCATION FOR ALL WASTES POSITIONED THROUGH
 FLOOR SLABS.

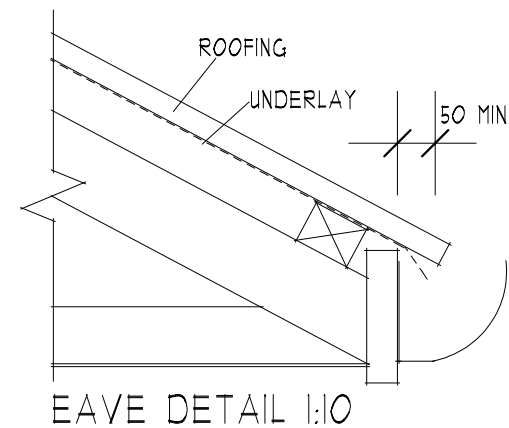
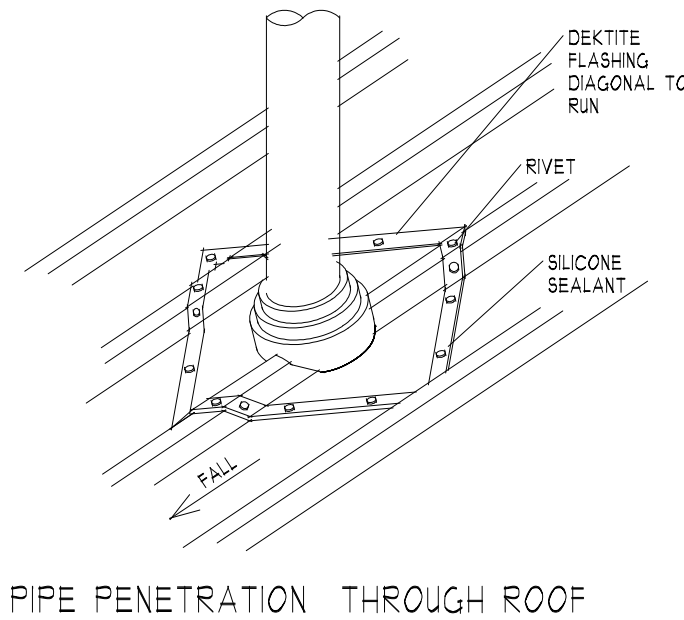
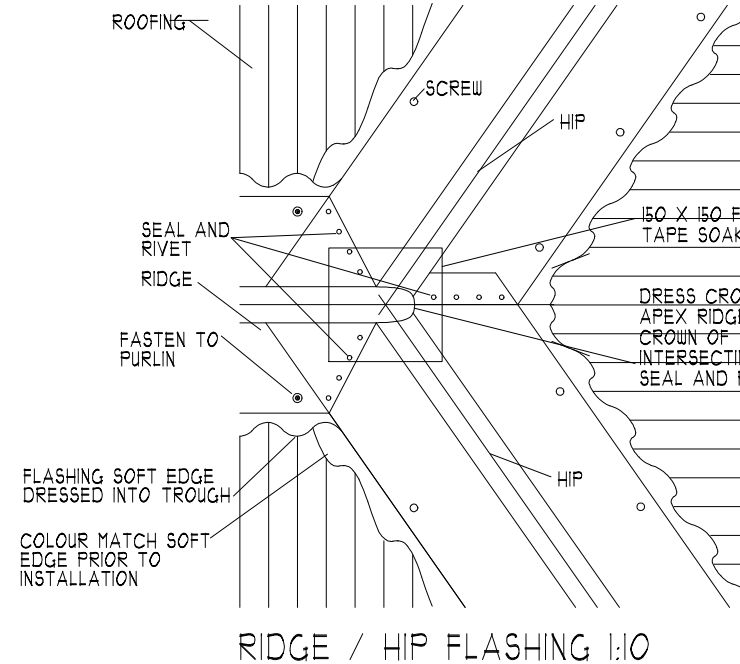
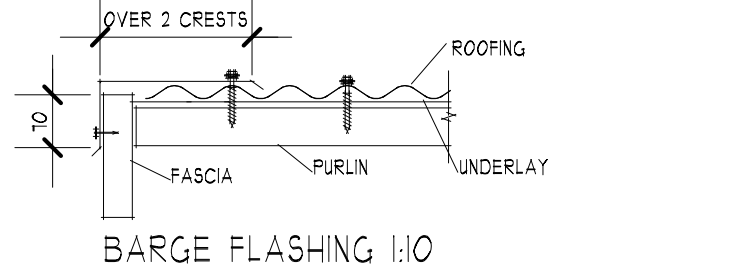
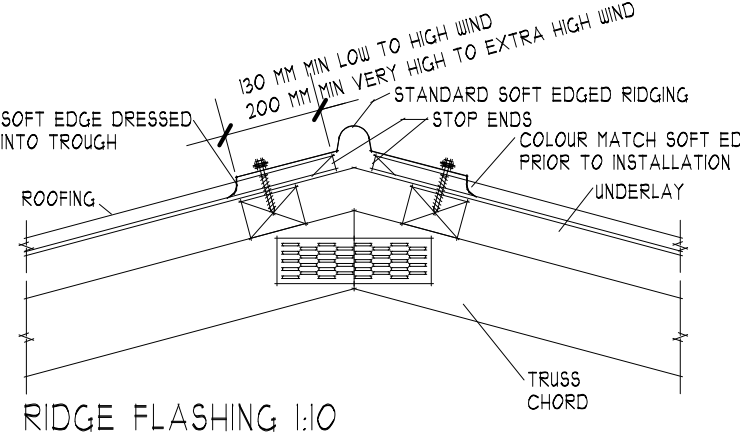
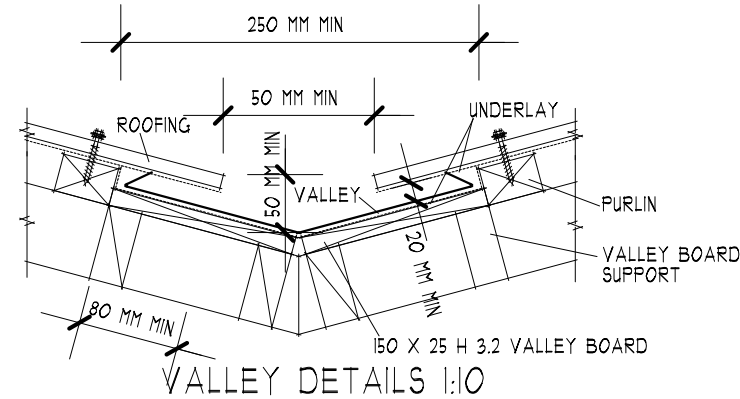
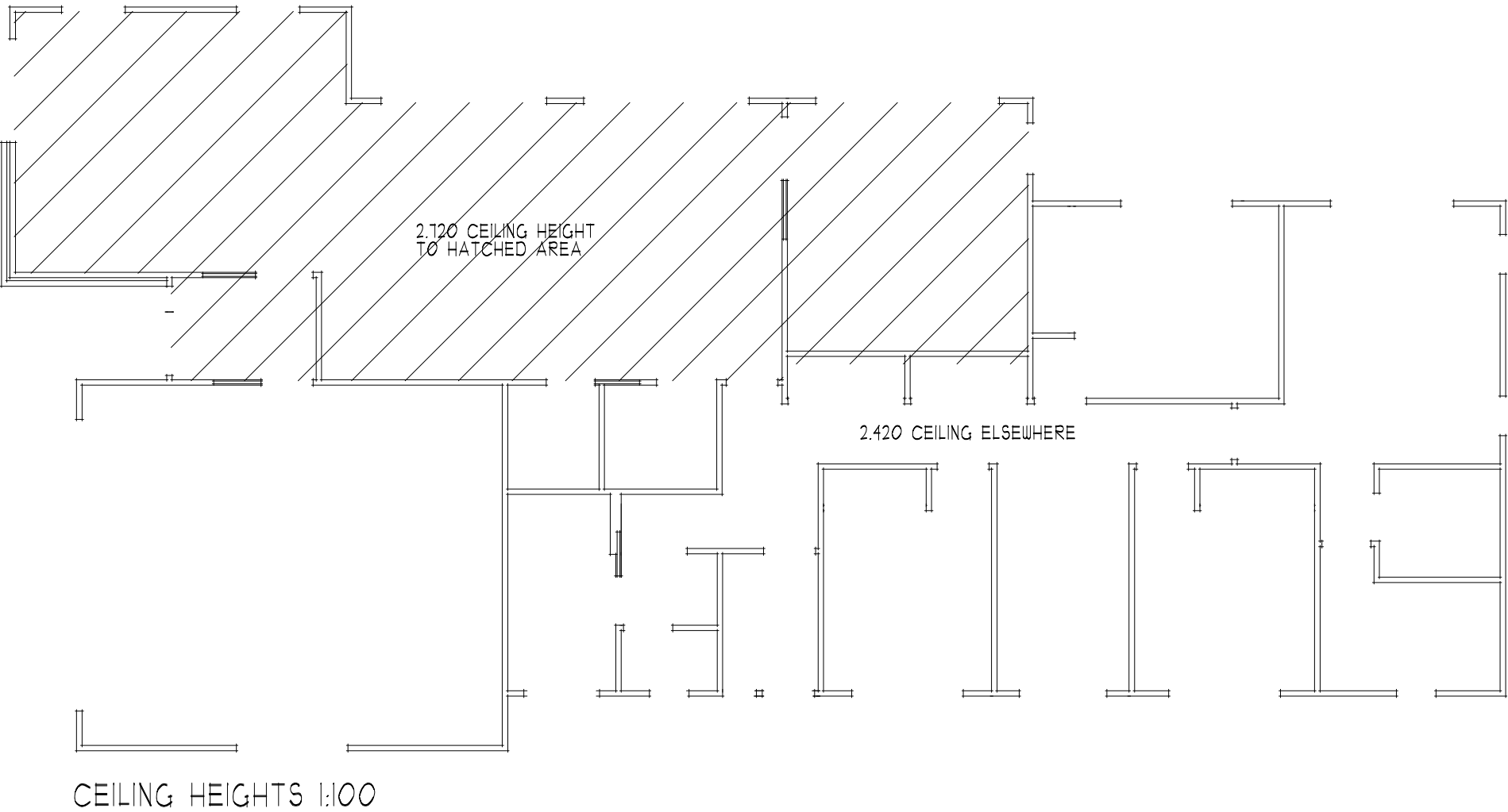
NOTE: ALL COPPER AND UPVC PIPES
 SHALL INCORPORATE EXPANSION JOINTS
 THE PROVISION DISCRIBED IN CHAPTER 8
 OF NZS 7643 SHALL BE USED FOR UPVC PIPES.
 AT SUPPORTS, AND AT WALL AND FLOOR
 PENETRATIONS NOT INCORPORATING EXPANSION
 JOINTS, MOVEMENT SHALL BE ACCOMMODATED
 USING PIPE SLEEVES OR A DURABLE AND FLEXIBLE
 LAGGING MATERIAL

GROUND TO TOP OF FLOOR SLAB,
 AND PAVED TO FLOOR SLAB DIMENSIONS
 TO COMPLY WITH E2/AS1 AND OR NZS 3604

MESH IN SLAB TO BE EARTHED. EARTH
 WITH 16 MM REO ROD BROUGHT UP INTO
 GARAGE WALL BELOW METERBOX AND
 WIRED TO THE MESH. AT PREWIRE,
 CONNECT A CLAMP AND PIECE OF WIRE
 TO THE ROD AND EARTH IT TO THE
 METERBOX.



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ENERGY EFFICIENCY CALCULATION SHEET

CLIMATE ZONE 3

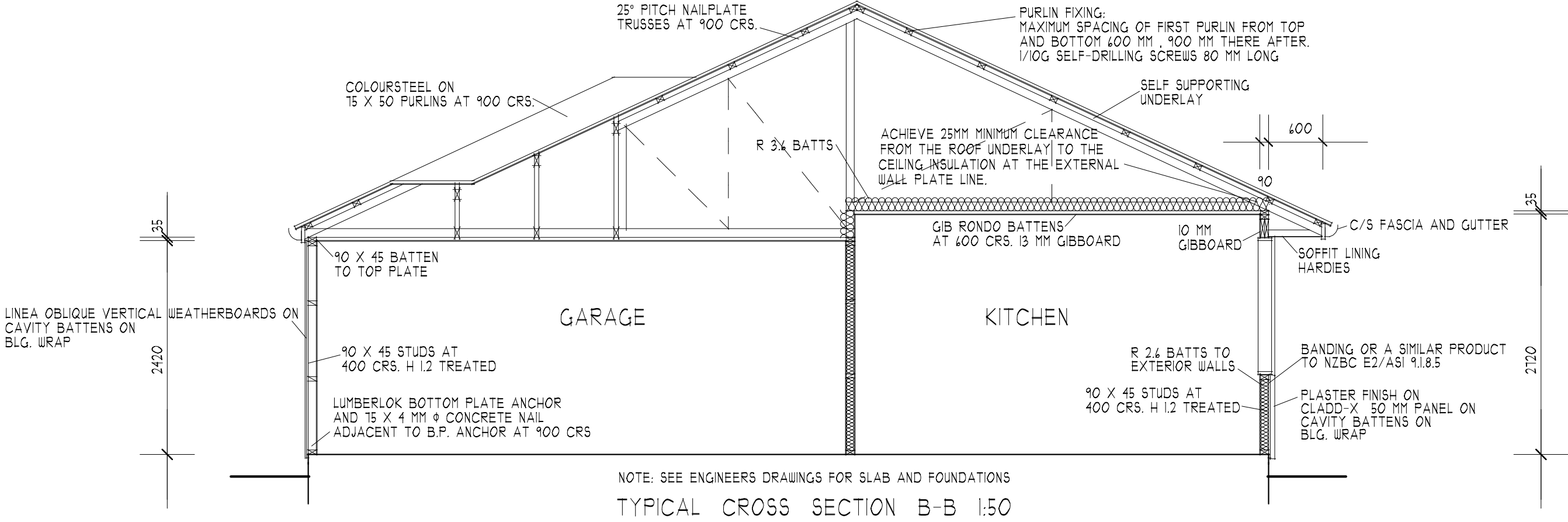
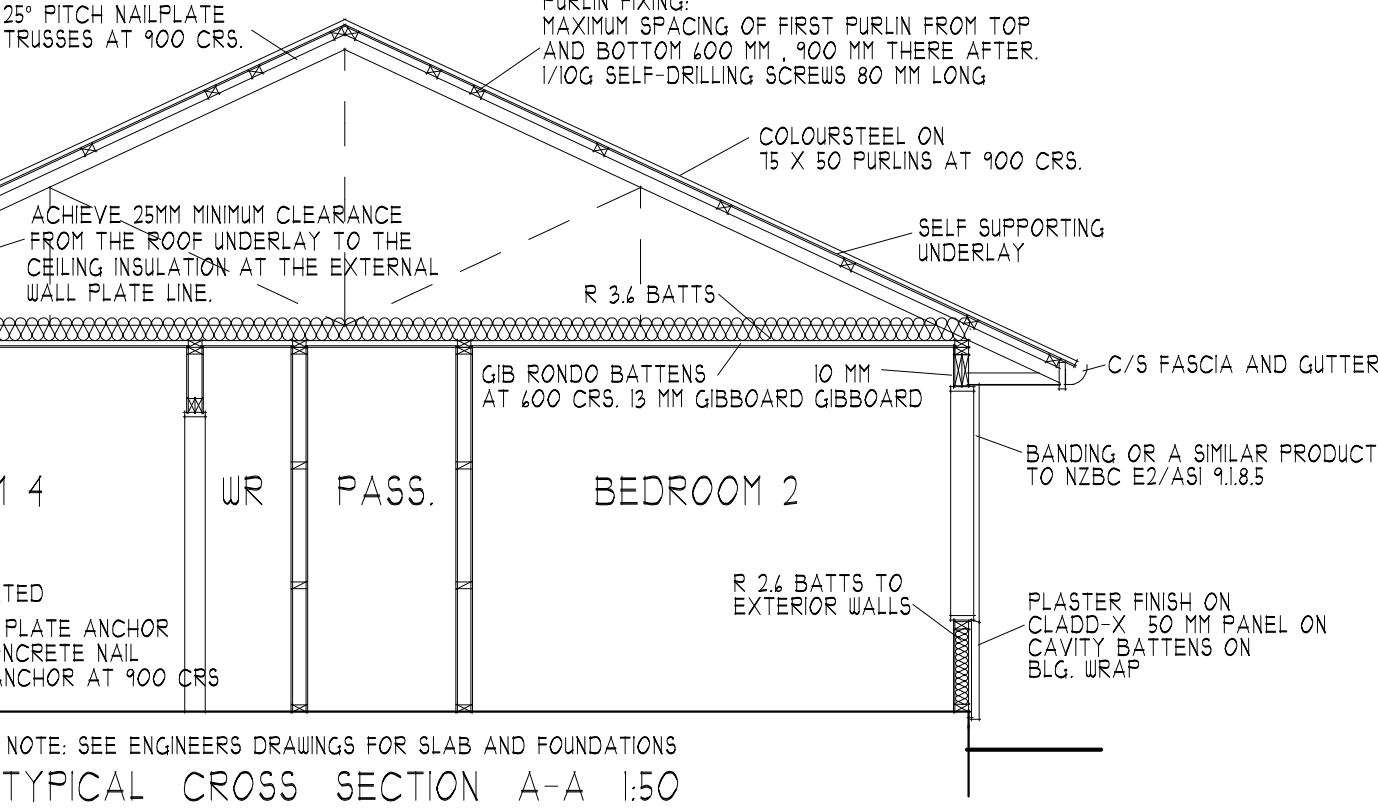
TOTAL AREA SKYLIGHTS	0	M²
TOTAL AREA GLAZING INCLUDING SKYLIGHTS	54.22	M²
TOTAL AREA OF WALLS	192.67	M²
% GLAZING / WALL	28.14	%
TOTAL AREA GLAZING EAST , WEST & SOUTH WALLS	22.54	M²
TOTAL AREA WALLS EAST , WEST & SOUTH	126.06	M²
% GLAZING / WALL	17.88	%

NOTE: IF UNDER 30% WITH MAXIMUM AREA OF SKYLIGHTS OF 1.2 M²
 USE THE SCHEDULE METHOD

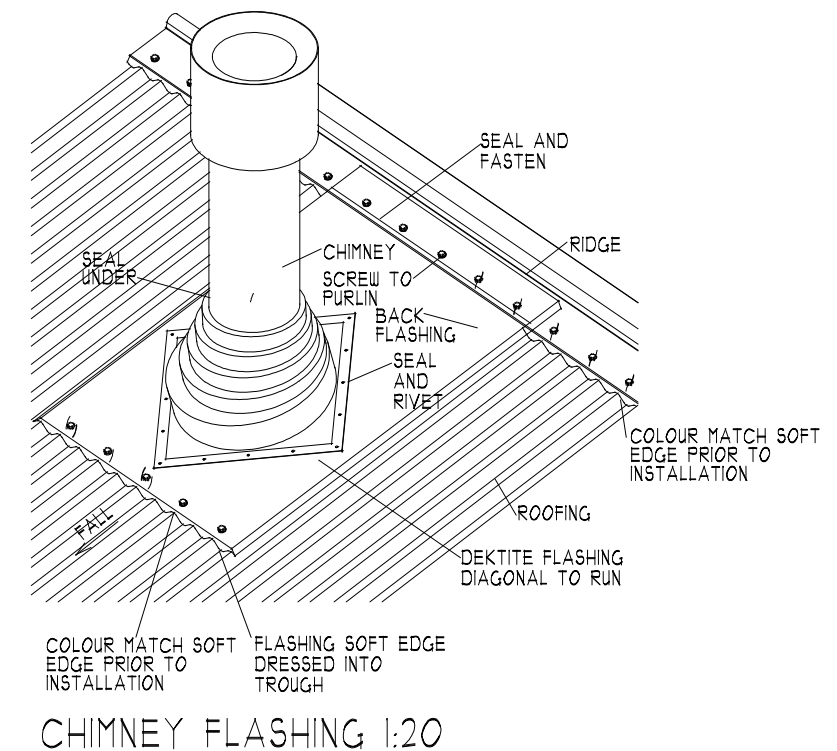
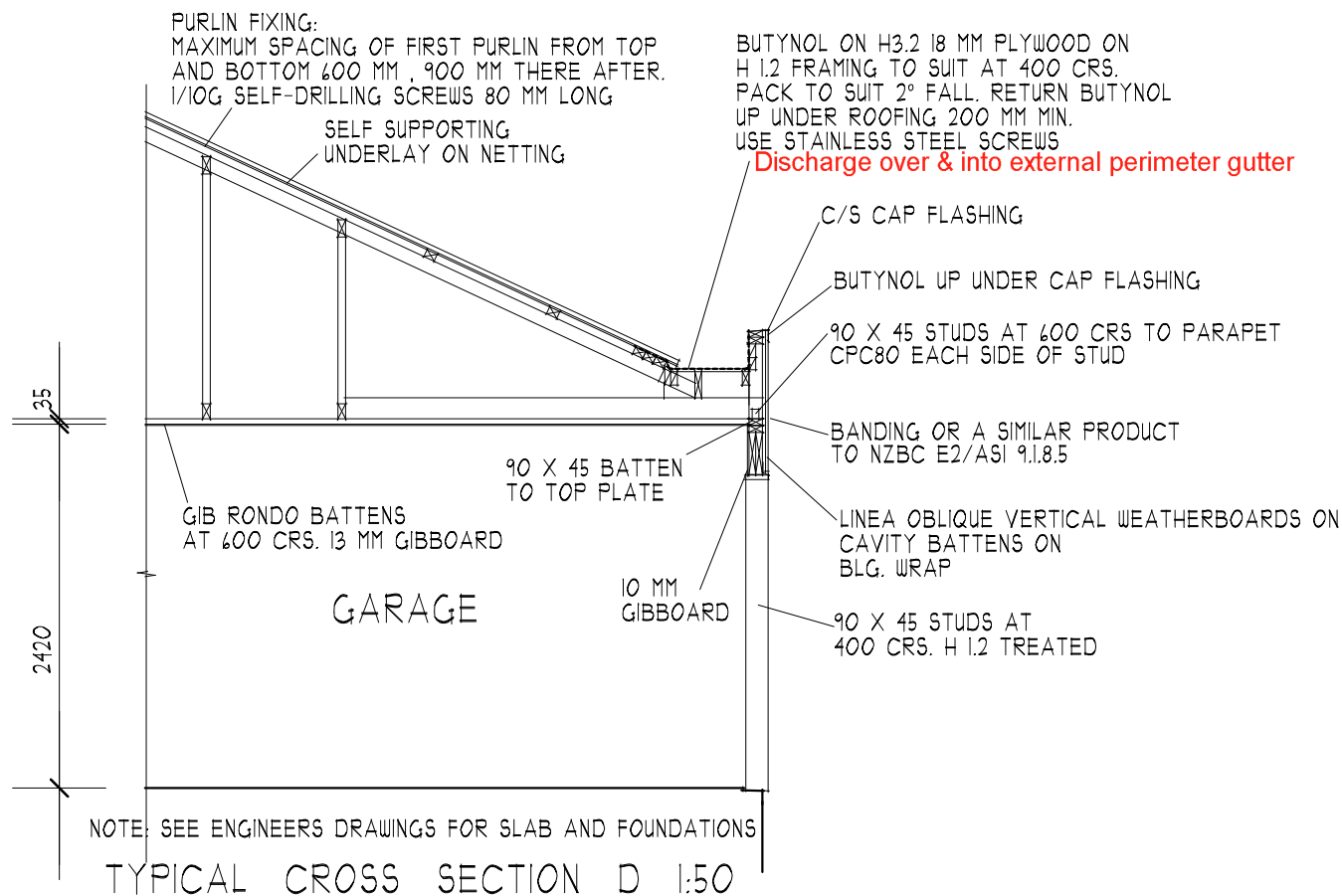
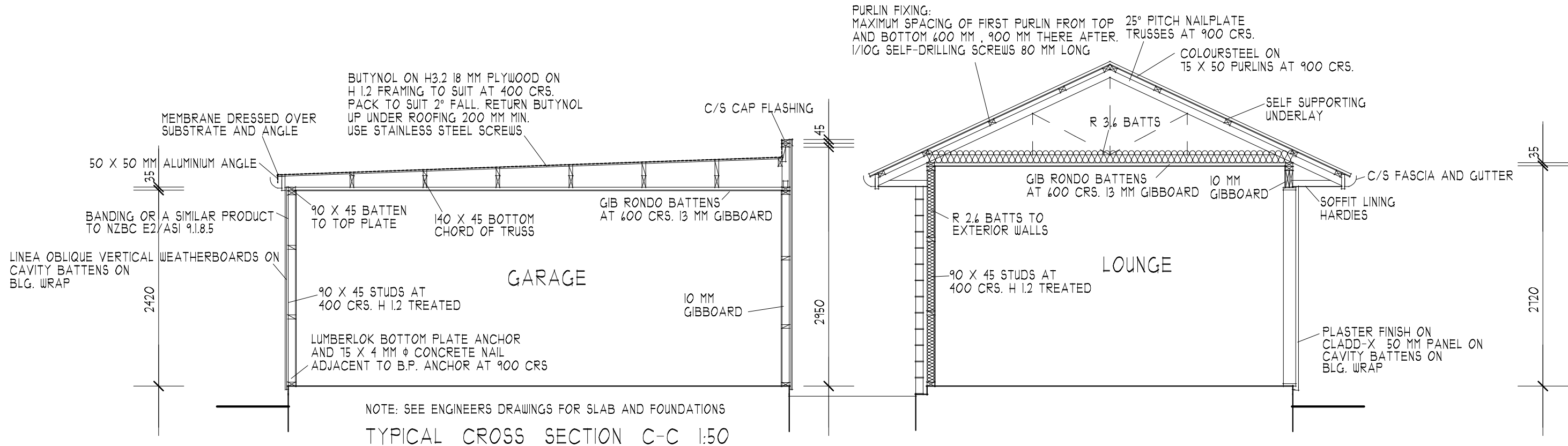
SOLUTION:
 ROOF R 3.6 WALL R 2.6 FLOOR R 1.3 GLAZING R 0.26

ALL TIMBER MEMBERS TO BE USED ARE SG8
 UNLESS OTHERWISE SPECIFIED

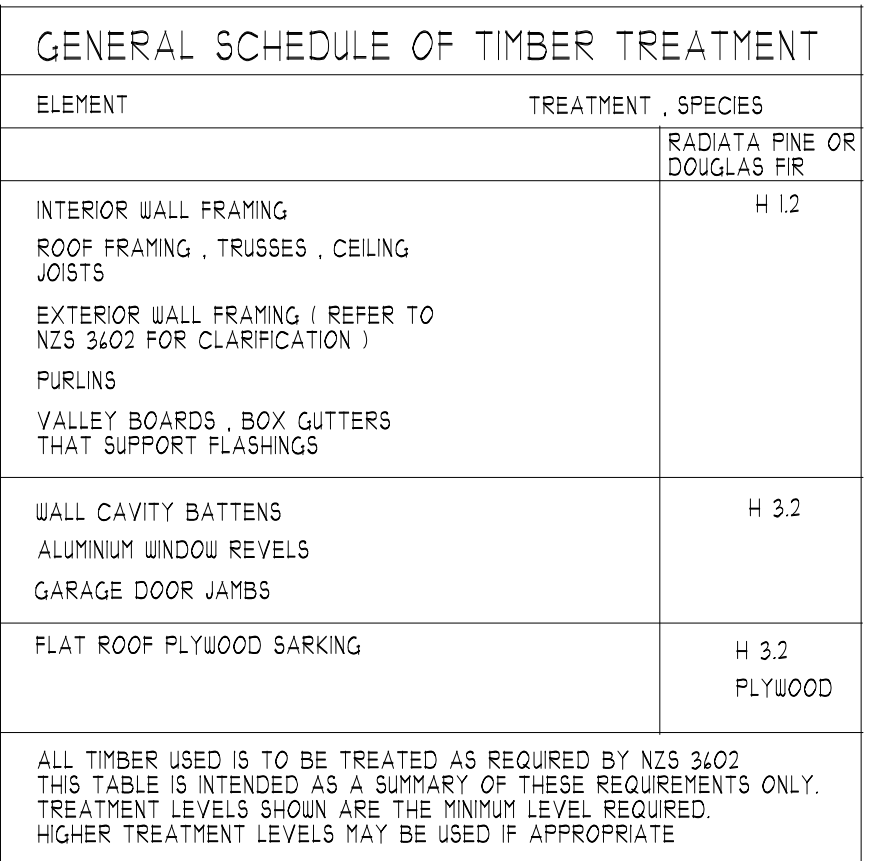
NOTE:
 FOR STUD TO TOP PLATE FIXING AND LINTEL FIXING SEE
 LUMBERLOK FIXING SCHEDULE IN SPECIFICATIONS



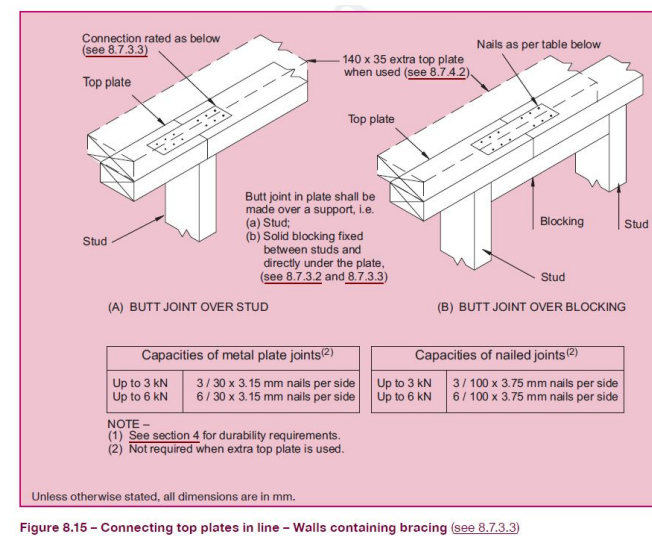
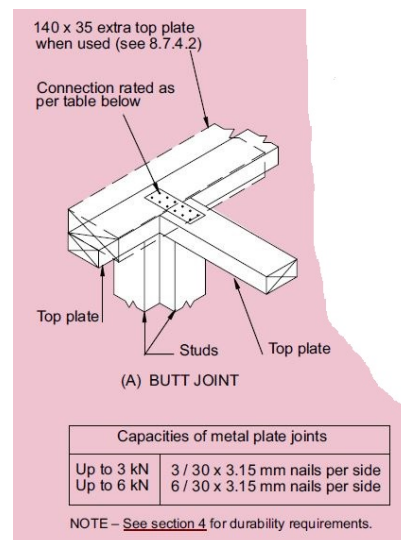
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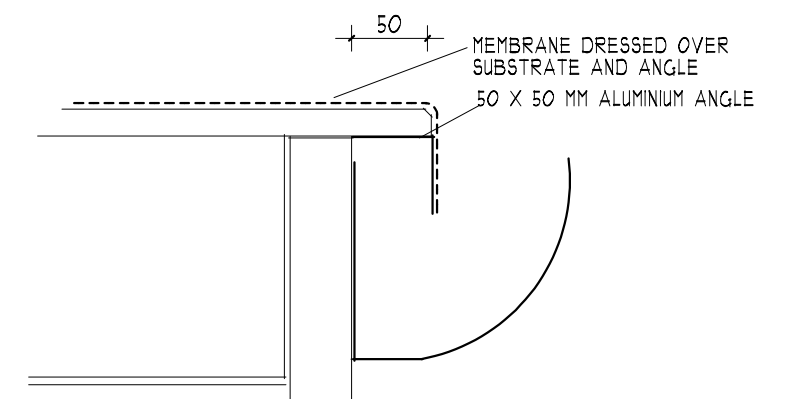
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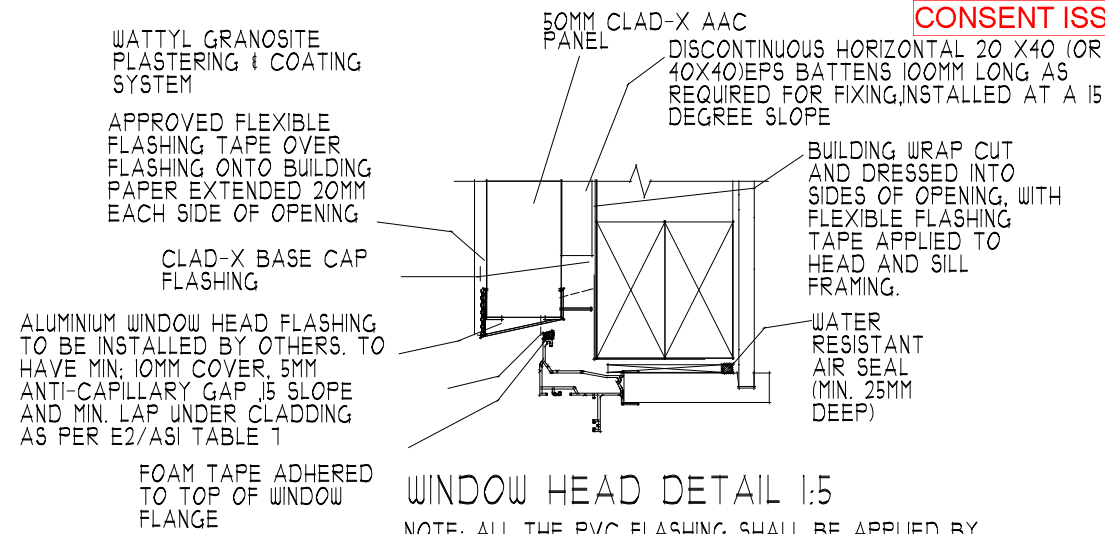
<p>MAXIMUM ACCEPTABLE MOISTURE CONTENTS</p>
<p>THE MAXIMUM MOISTURE CONTENTS SHALL BE:</p>
<p>A) FOR TIMBER FRAMING AT THE TIME OF INSTALLING INTERIOR LININGS, THE MAXIMUM ACCEPTABLE MOISTURE CONTENT SHALL BE THE LESSER OF:</p> <p>I) 18% FOR INSULATED BUILDINGS, 18% FOR NON-INSULATED BUILDINGS, OR</p> <p>II) AS SPECIFIED IN NZS 3602,</p>
<p>B) FOR TIMBER WEATHERBOARDS AND EXTERIOR JOINERY, 20% AT THE TIME OF PAINTING,</p>
<p>C) FOR RECONSTITUTED WOOD PRODUCTS, 18% AT ALL TIMES, AND</p>
<p>D) FOR CONCRETE FLOORS, SUFFICIENTLY DRY TO GIVE A RELATIVE HUMIDITY READING OF LESS THAN 15% AT THE TIME OF LAYING FIXED FLOOR COVERINGS.</p>



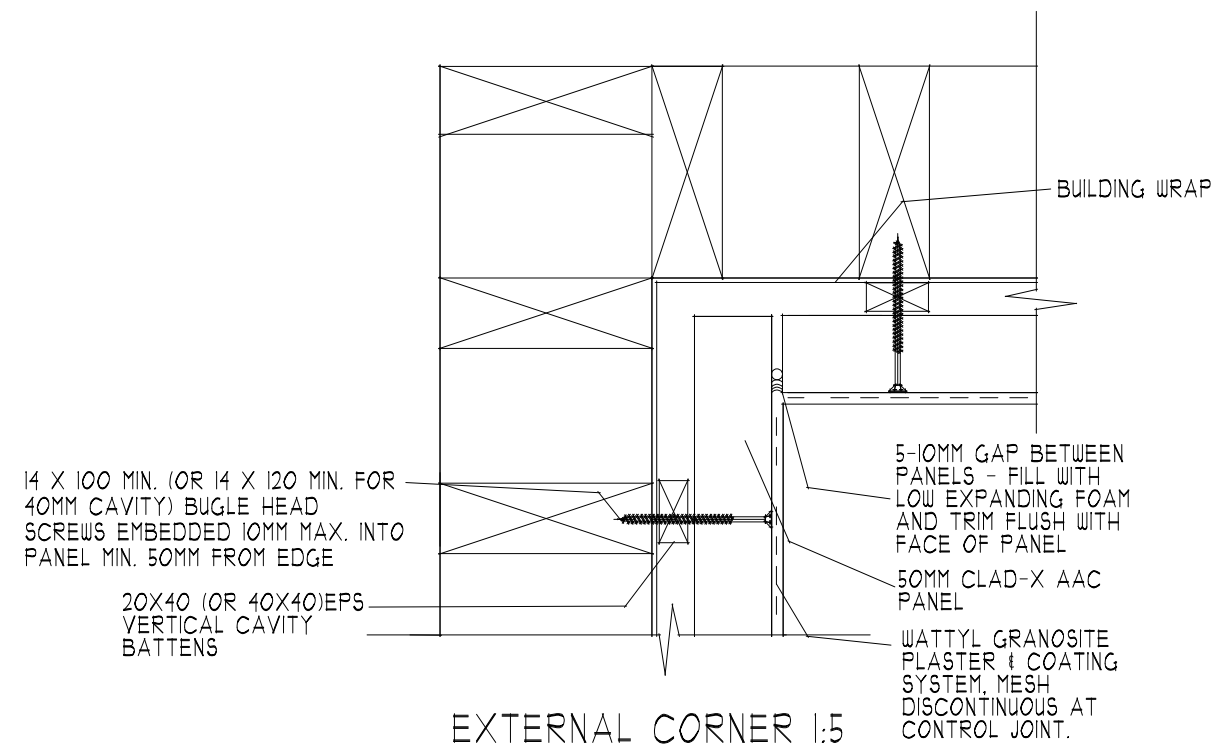
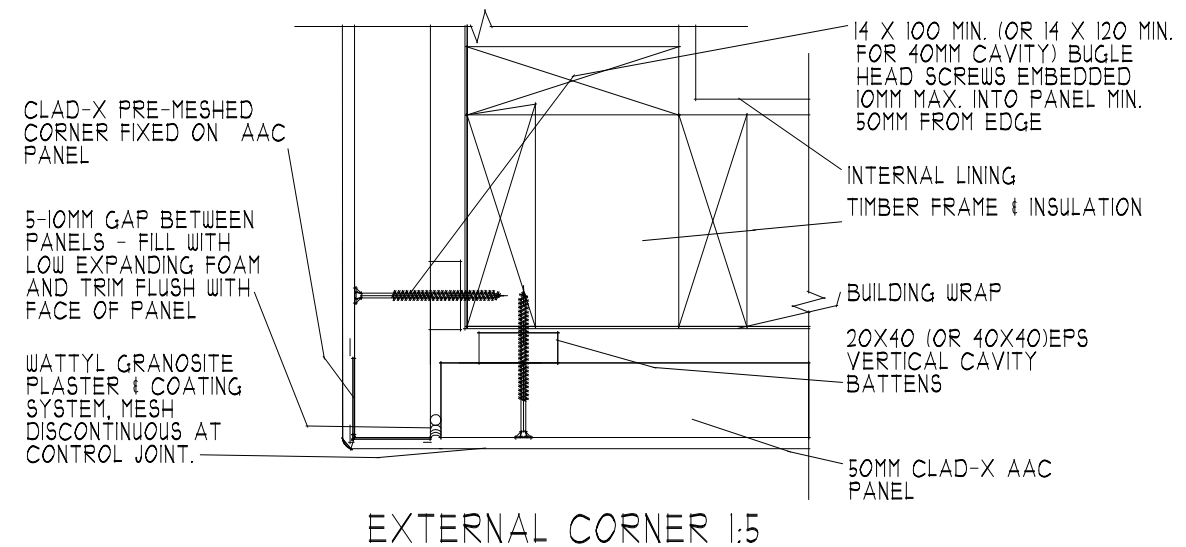
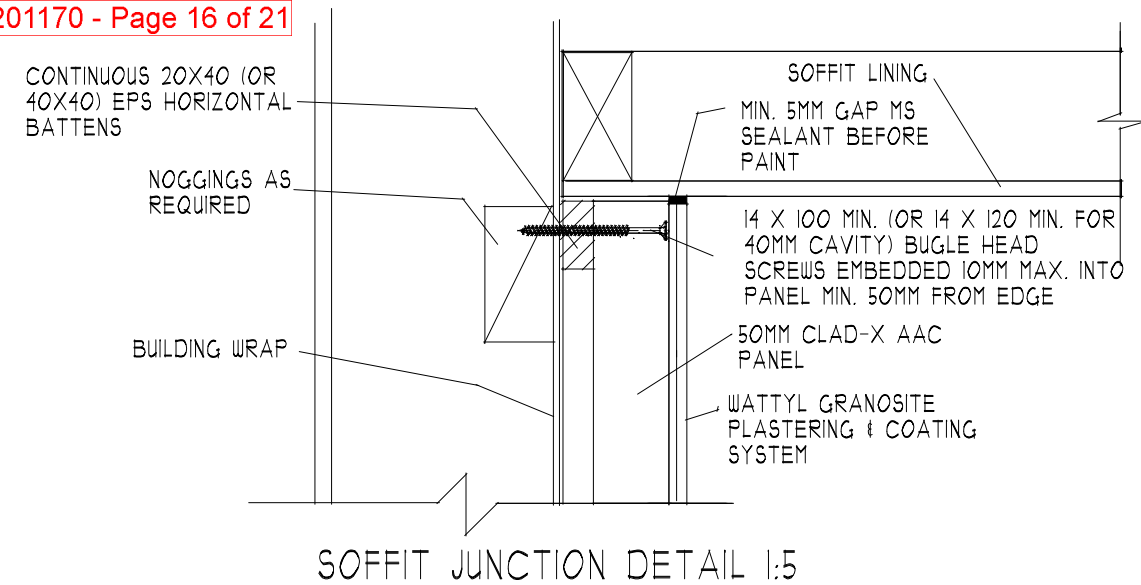
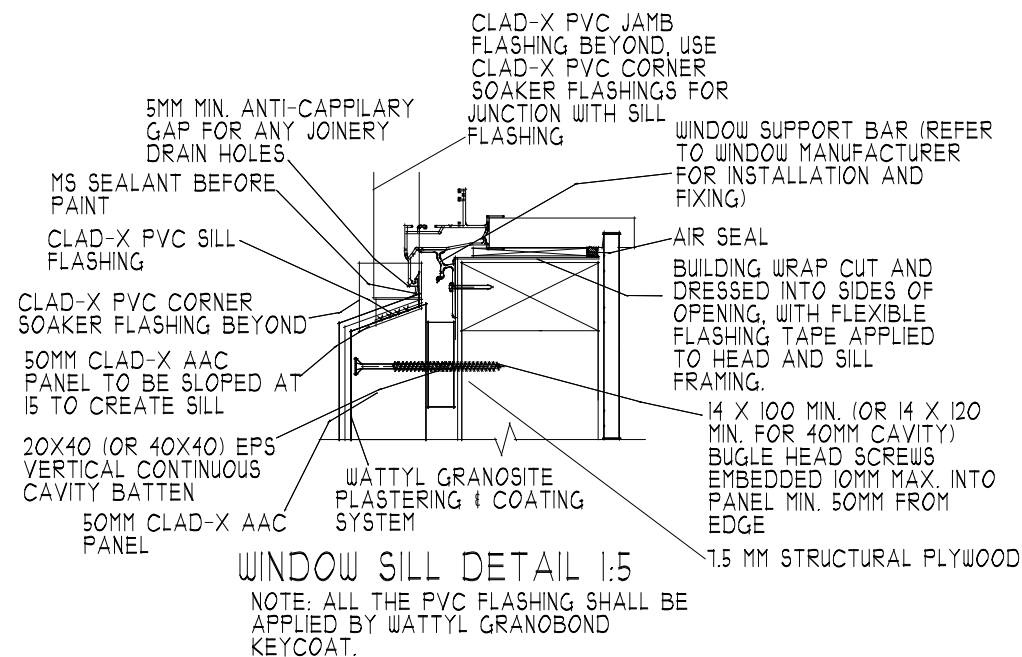
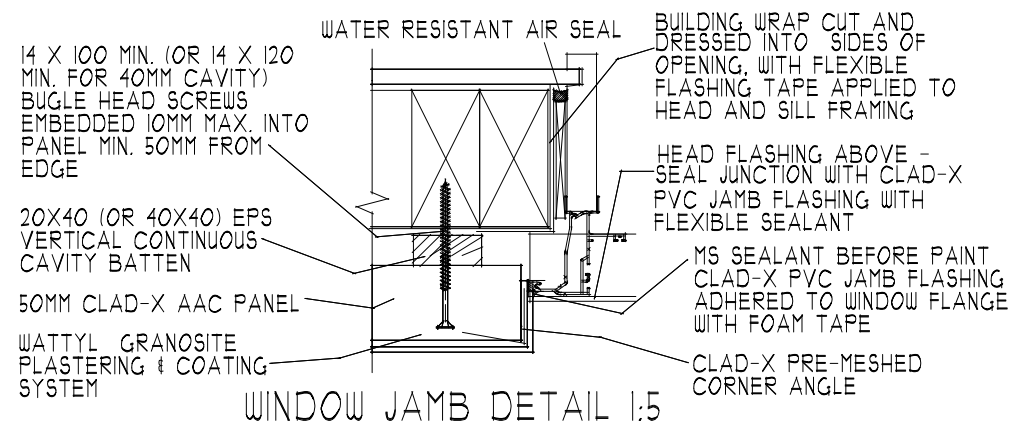
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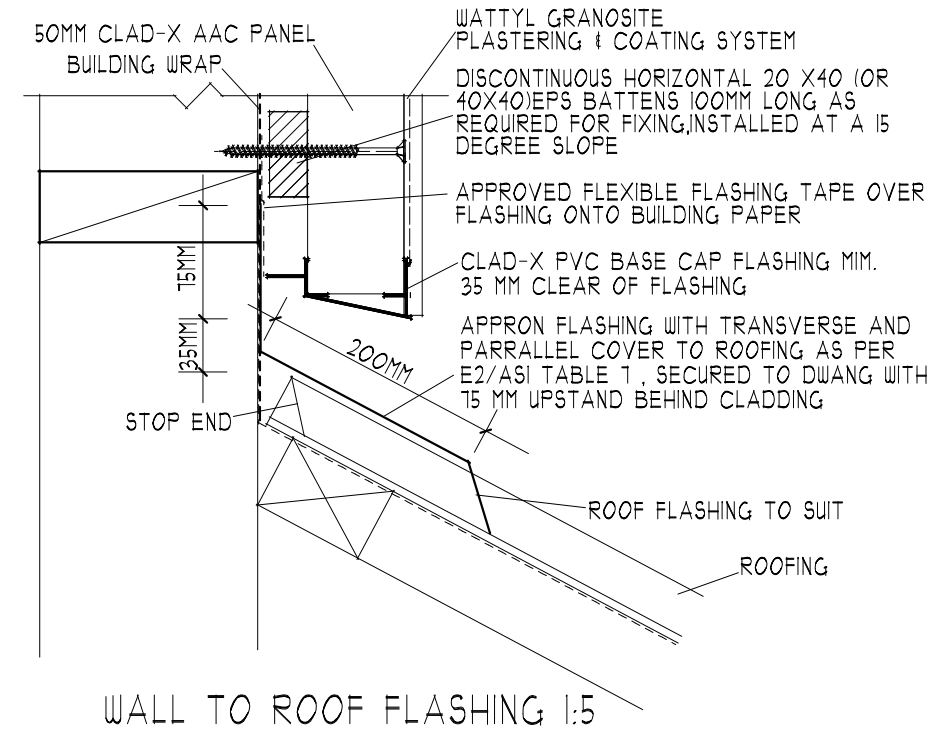
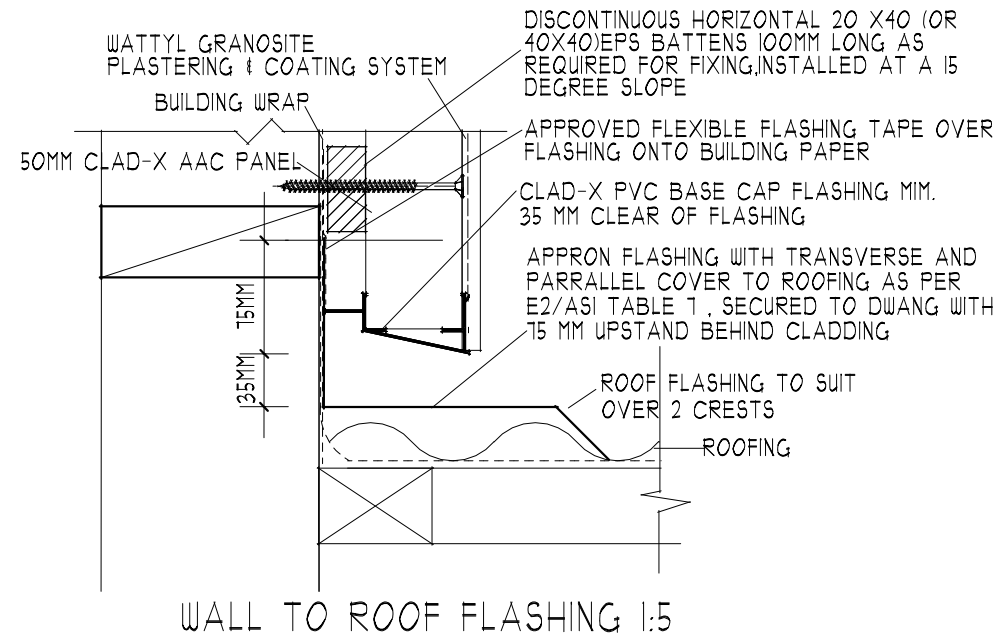


ROOF EDGE 1:5

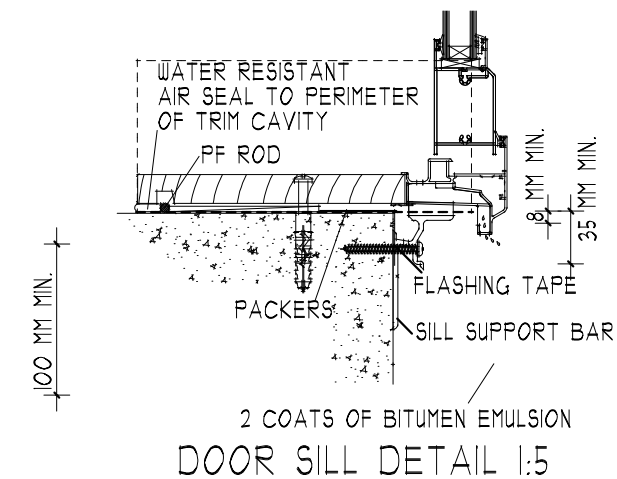
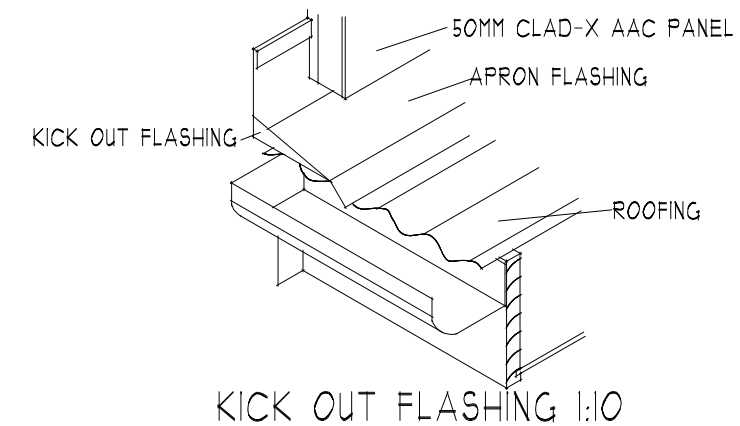
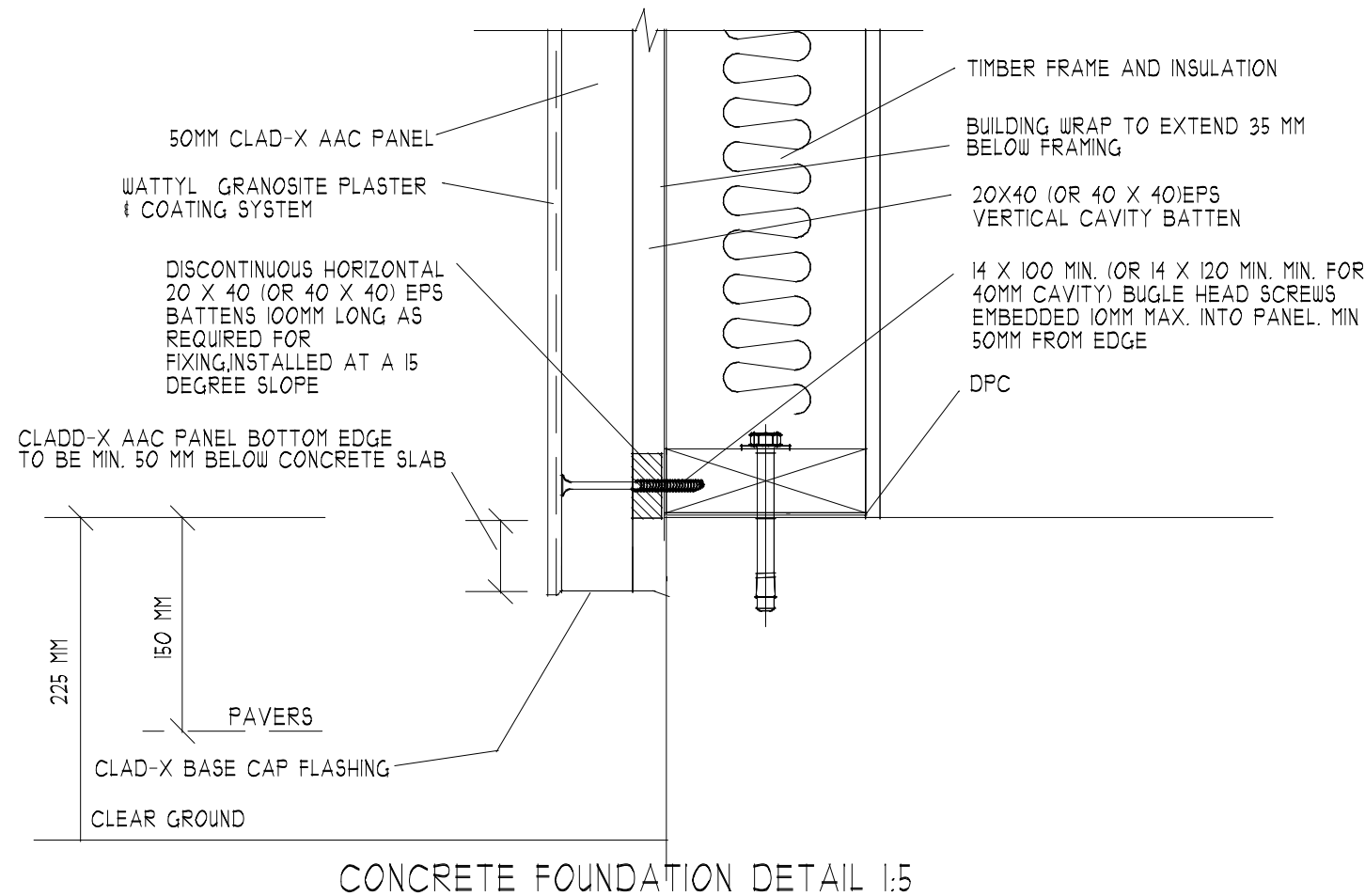


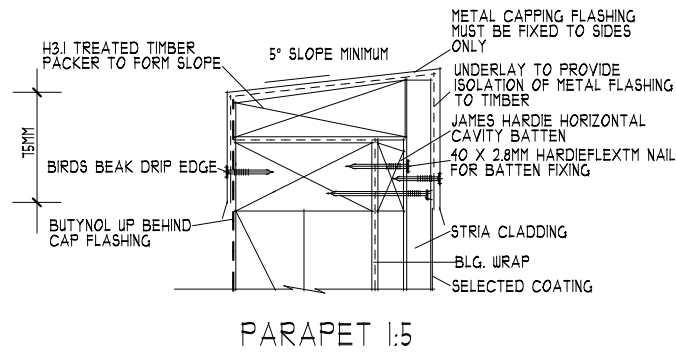
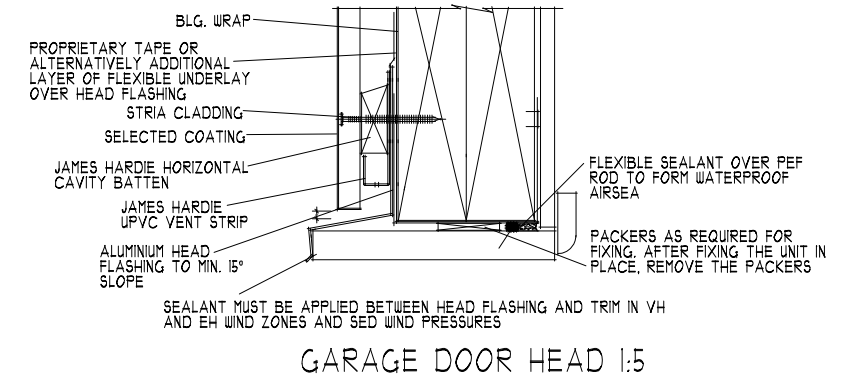
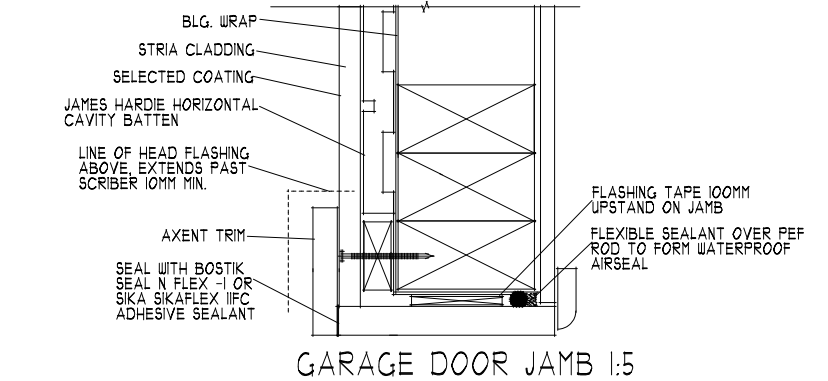
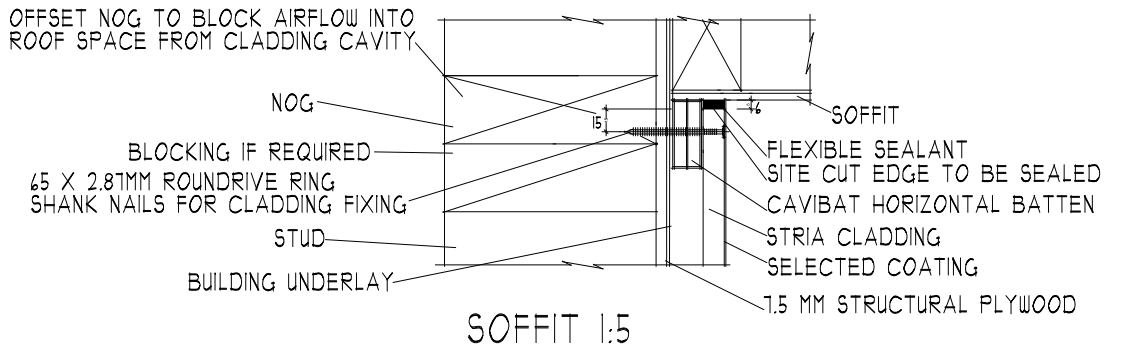
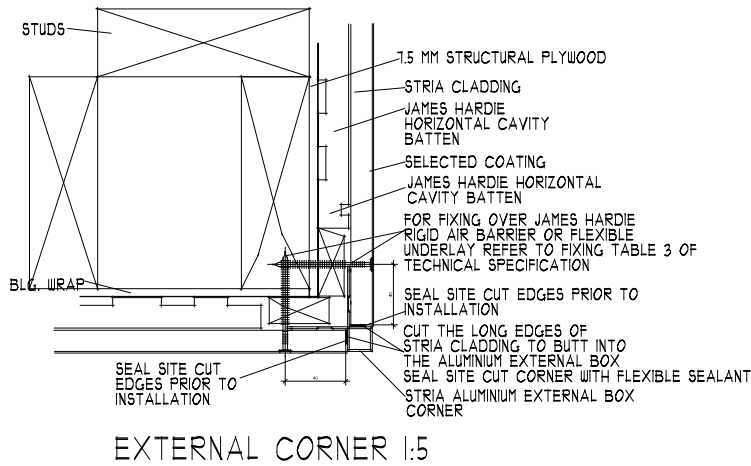
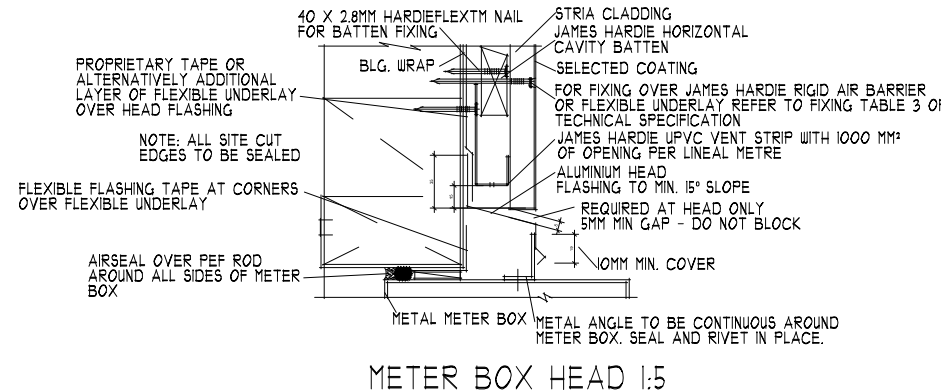
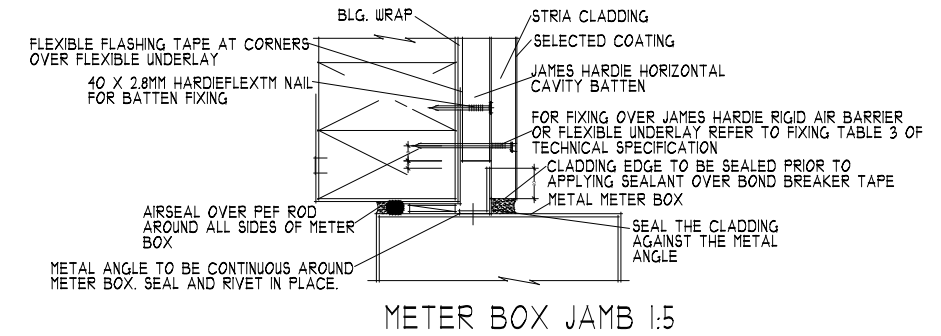
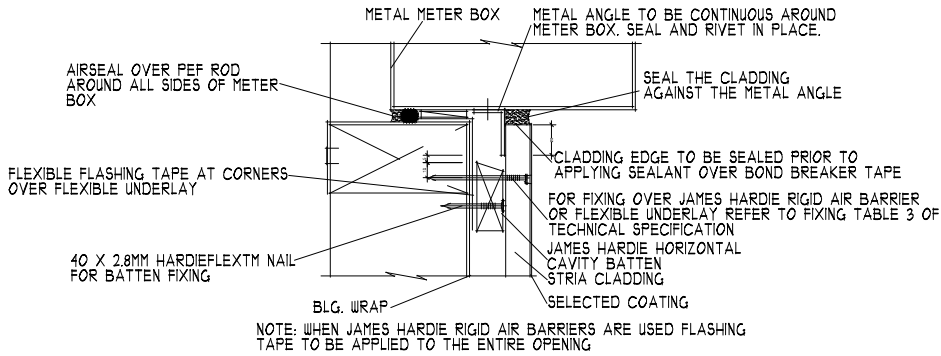
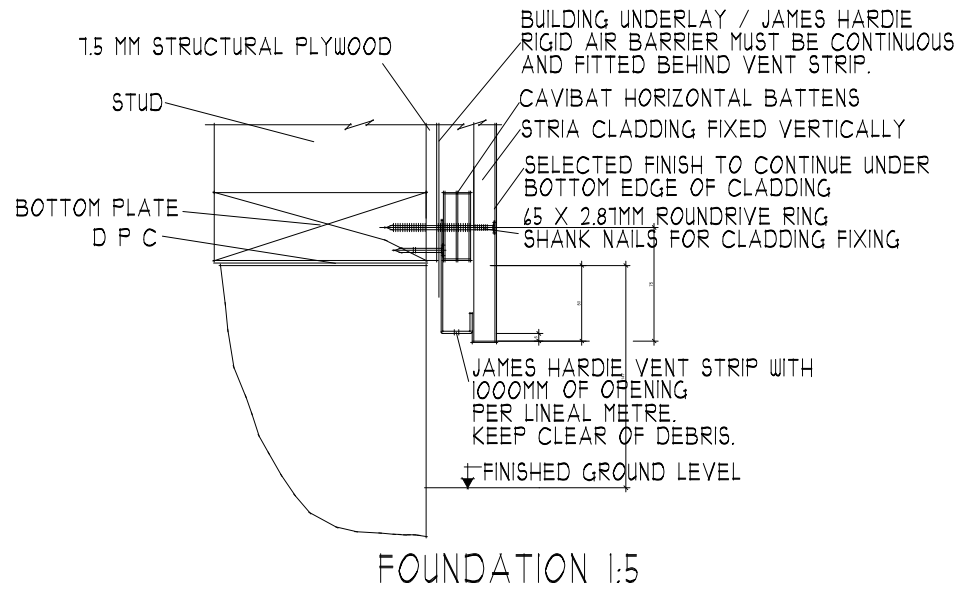
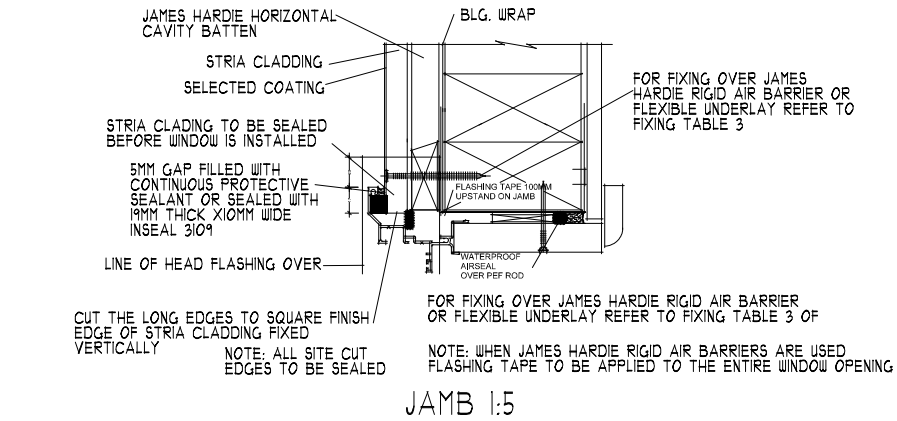
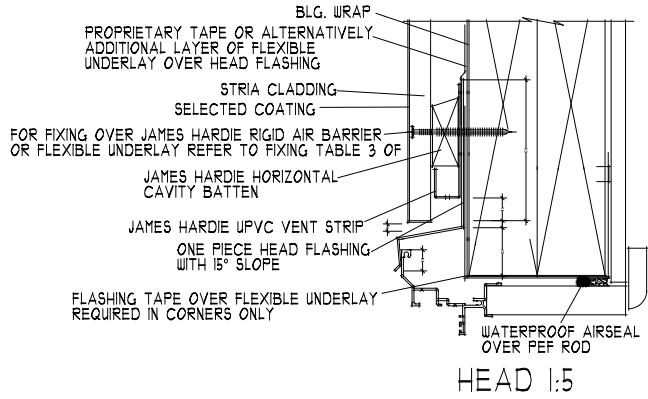
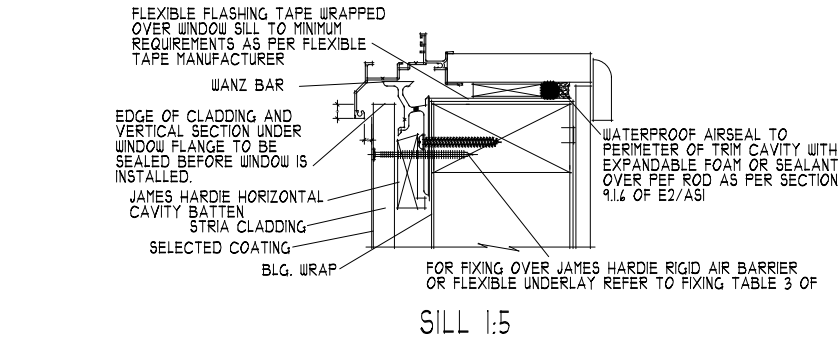
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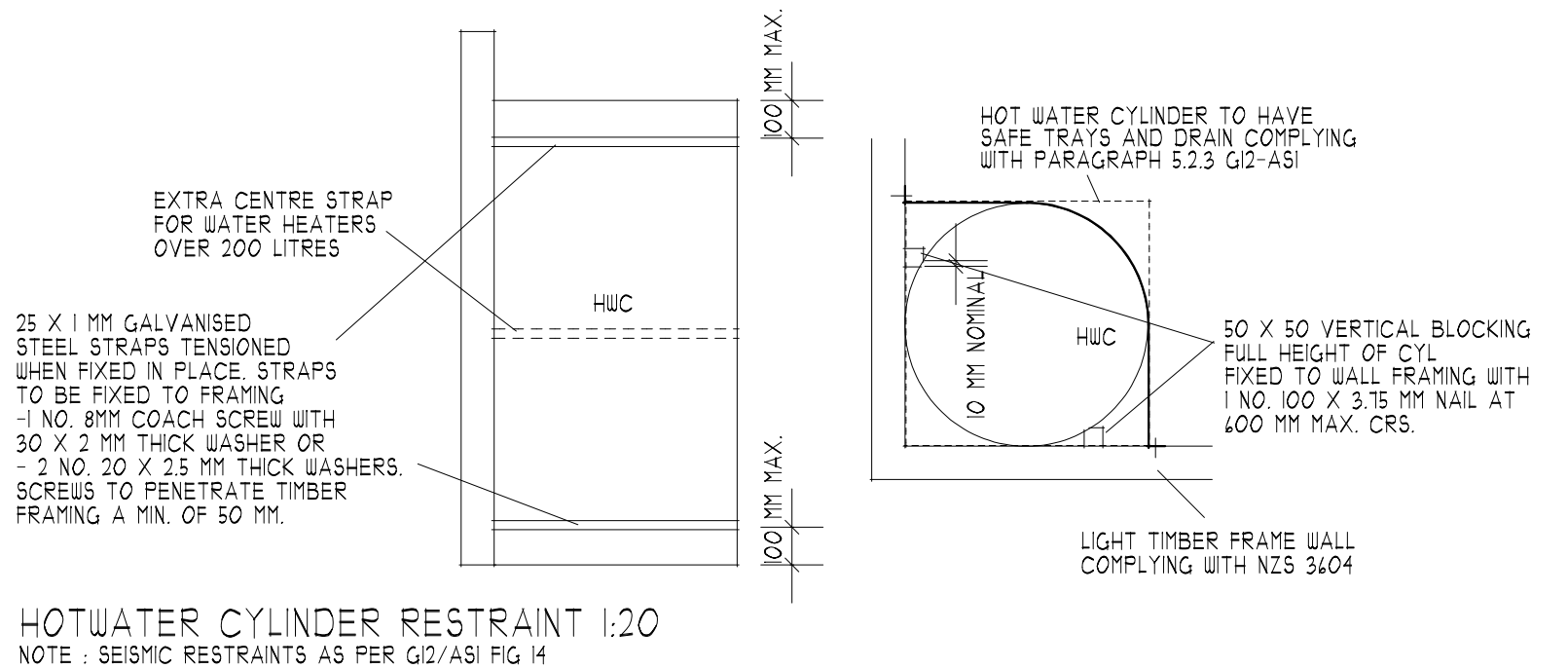
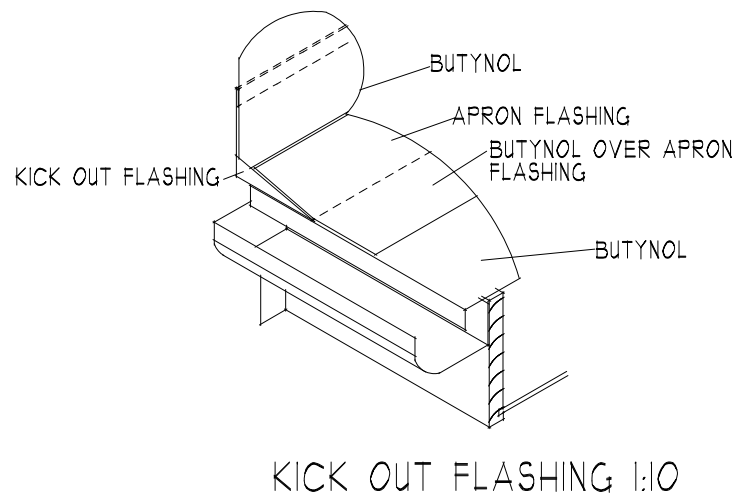
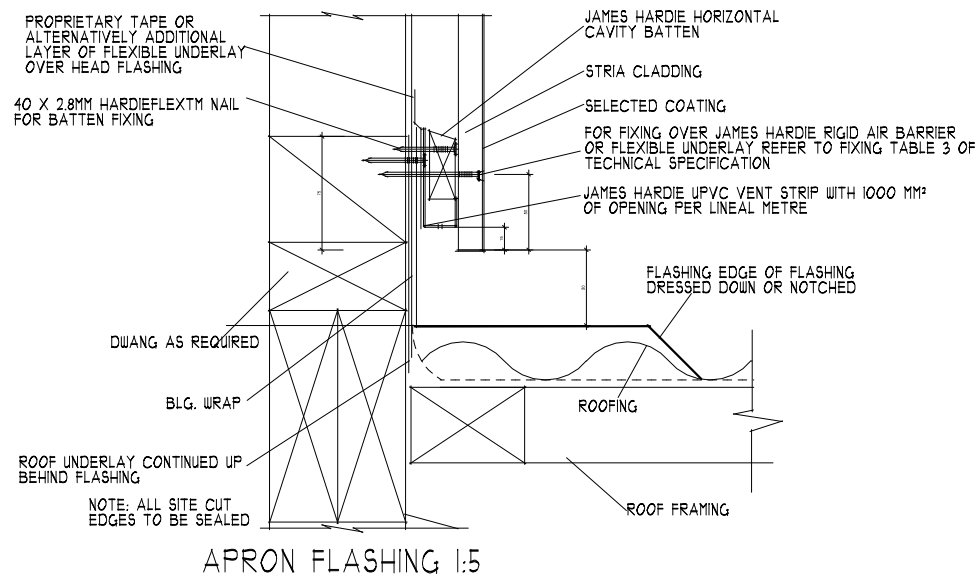
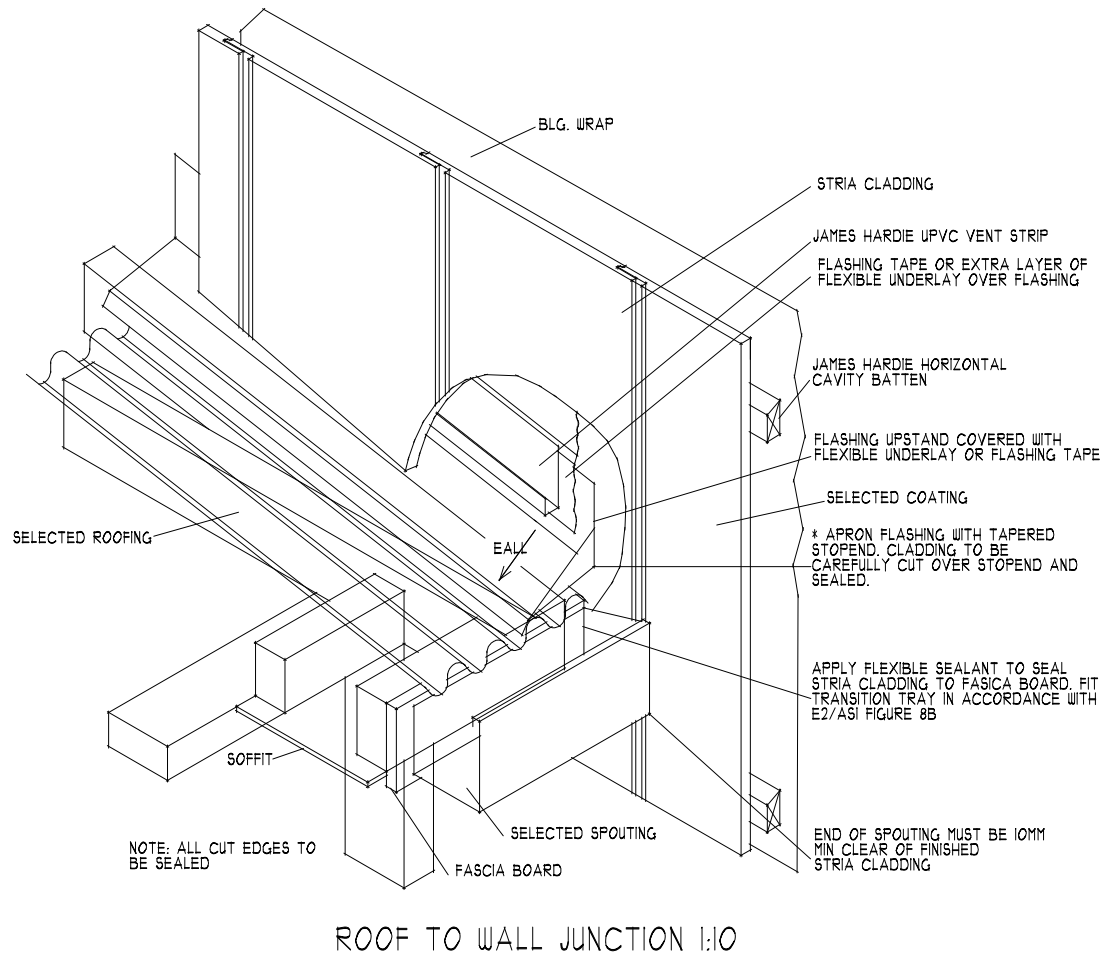
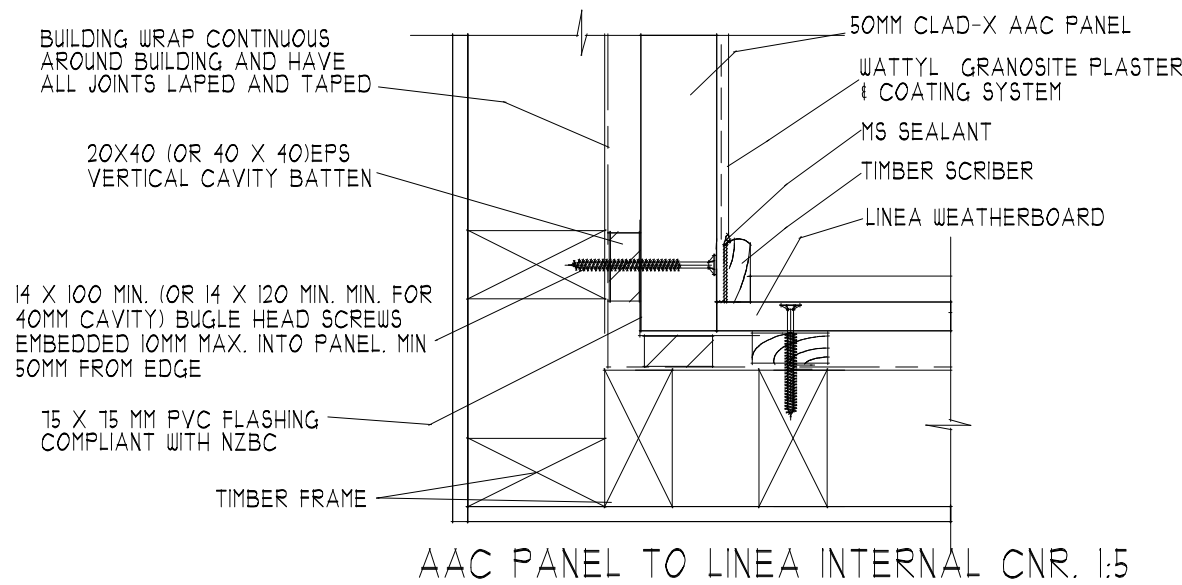


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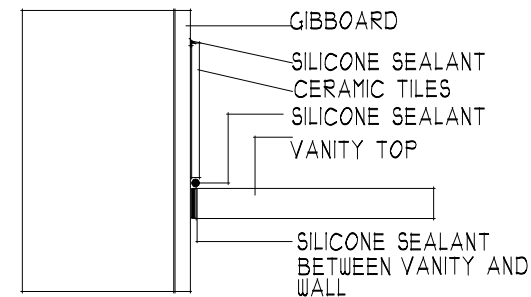




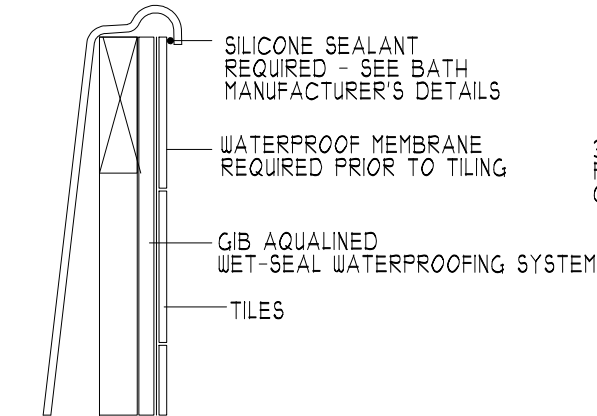
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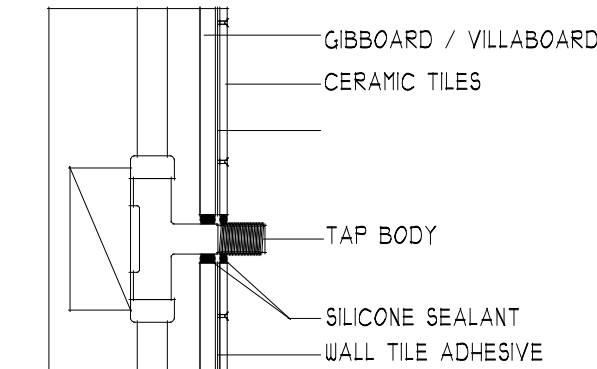
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VANITY TOP DETAIL 1:5

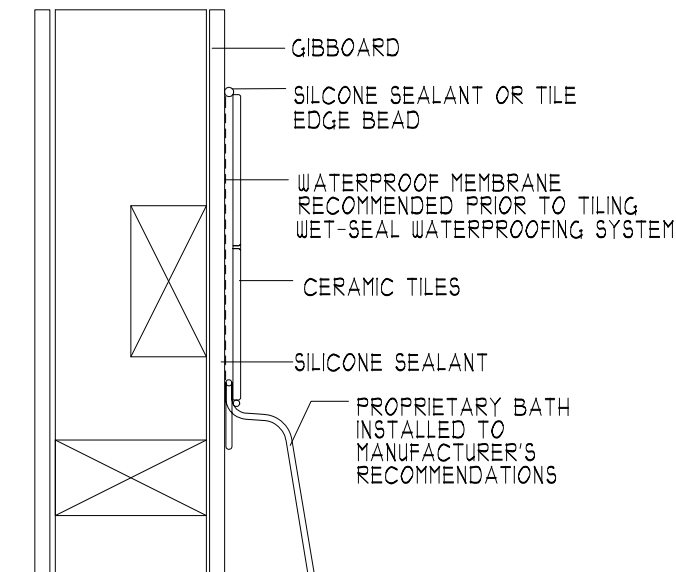


BATH EDGE DETAIL 1:5

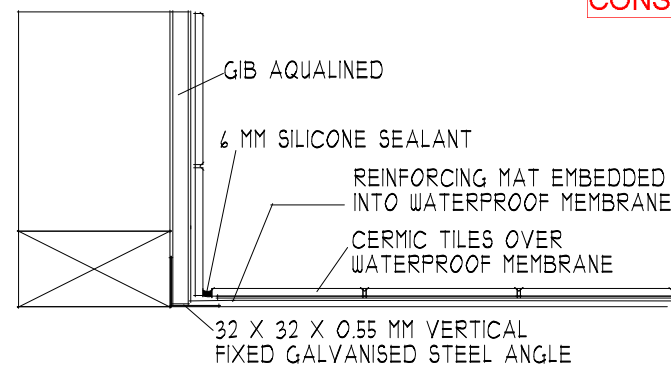


NOTE:
WHERE IMPACT NOISE FROM PIPES
IS AN ISSUE, FIX ALL PIPES ON
RESILIENT BRACKETS.

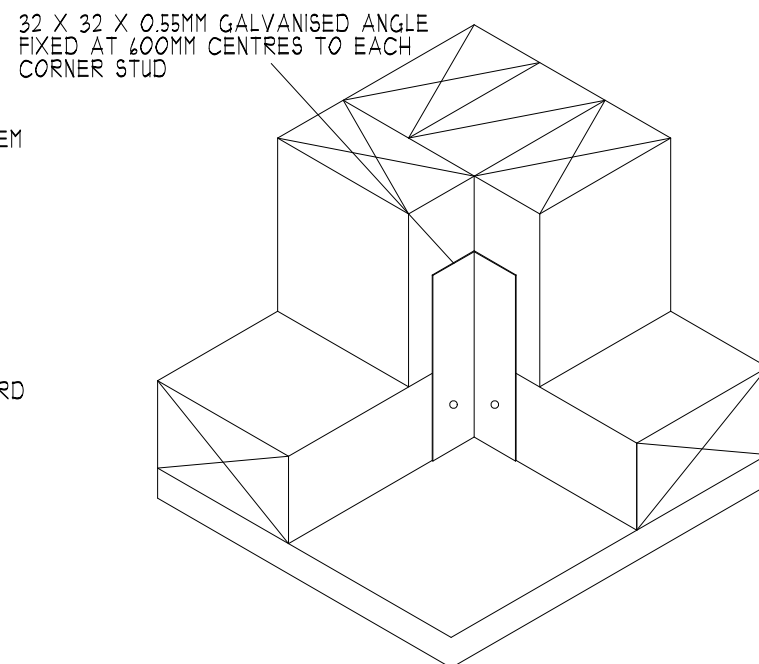
PENETRATION DETAIL 1:5



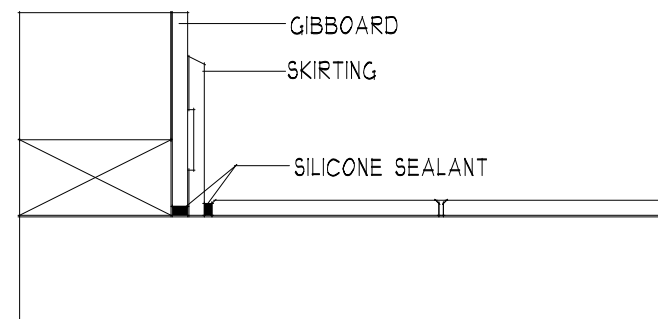
BATH/WALL DETAIL 1:5



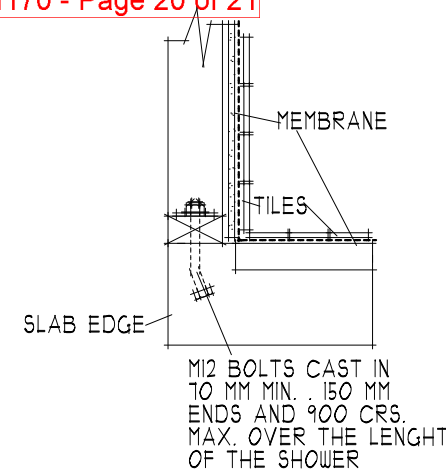
WALL/BATH/FLOOR DETAIL 1:5



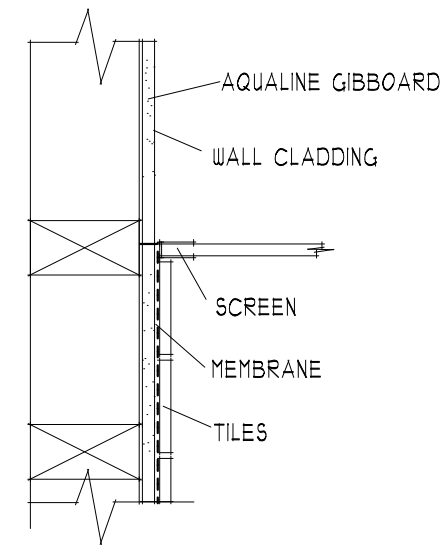
SHOWER CORNER DETAIL 1:5



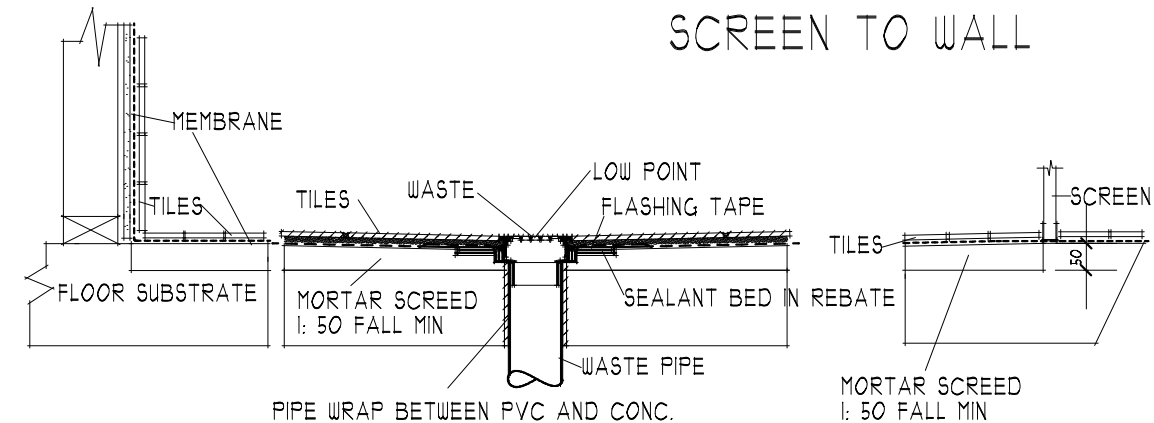
WALL/FLOOR DETAIL 1:5



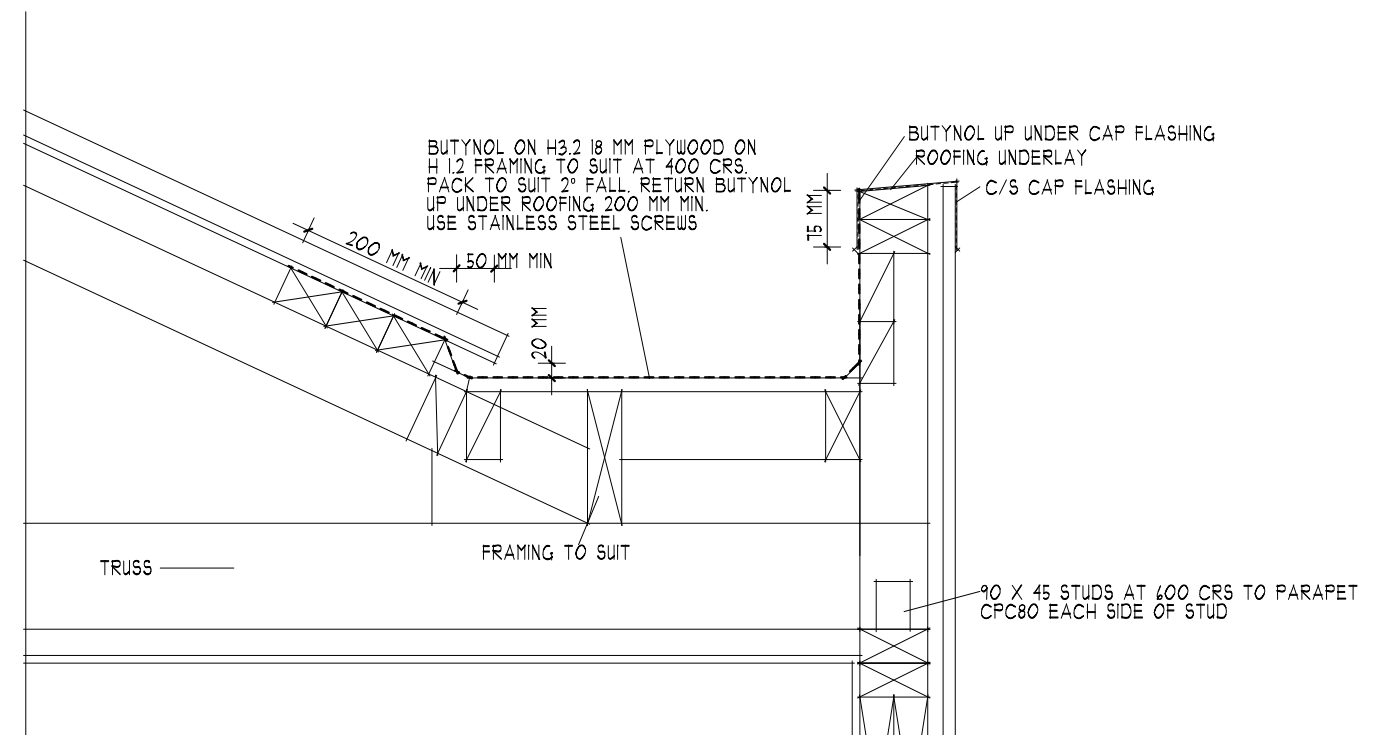
SLAB EDGE FIXING



SCREEN TO WALL

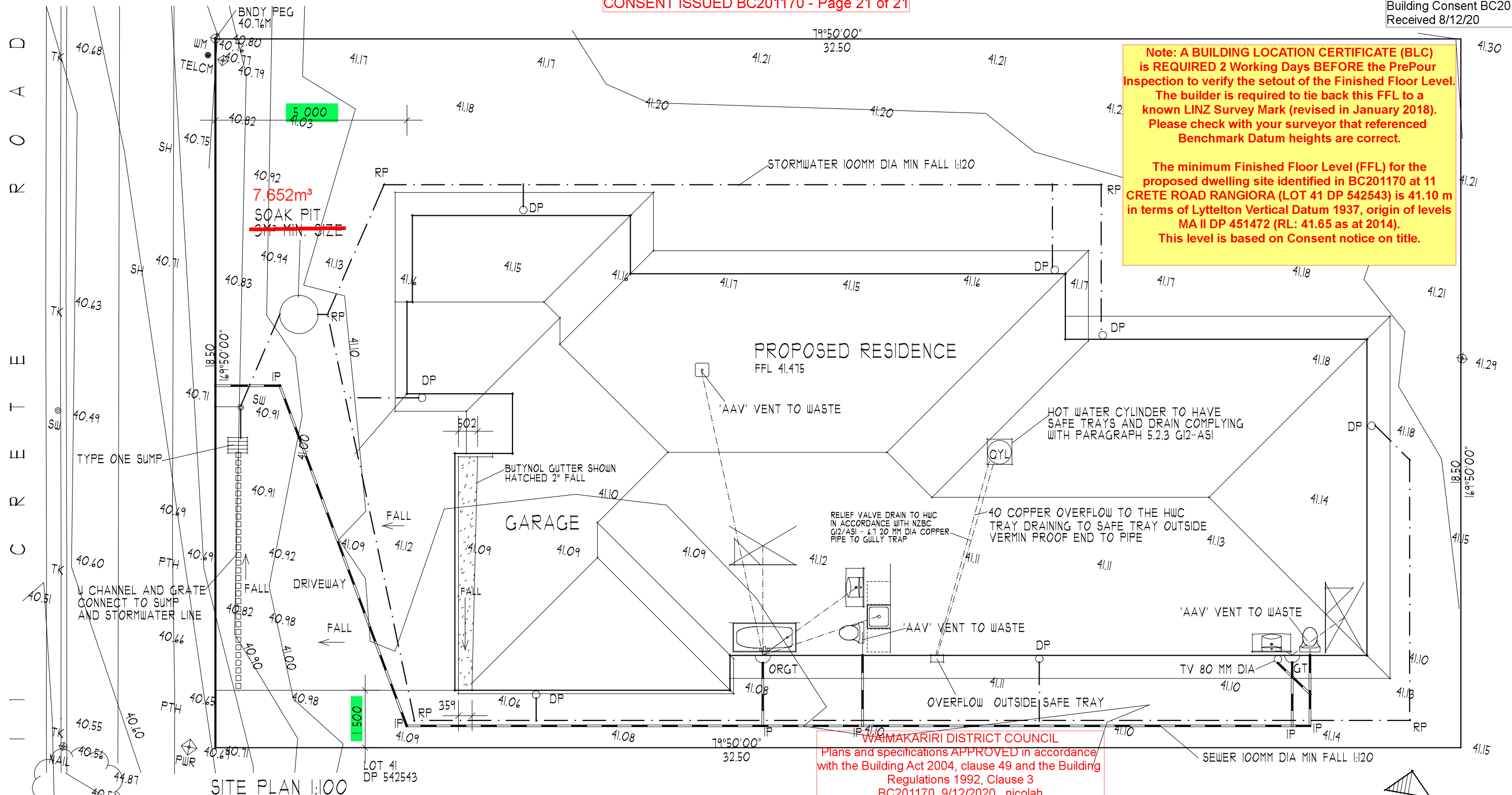


SHOWER FLOOR DETAIL



BUTYNOL / ROOFING DETAIL 1:10

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SITE PLAN 1:100

MINIMUM REQUIREMENTS FOR WASTE PIPES G13/AS1	
SHOWER WASTE :	40 MM AT 1 IN 40
BASIN WASTE :	32 MM AT 1 IN 20
WC WASTE :	100 MM AT 1 IN 60
TUB WASTE :	40 MM AT 1 IN 30
SINK WASTE :	50 MM AT 1 IN 40
'AAV' VENT TO WASTES OVER 3.500 M LONG	
ALL TOILETS TO BE VENTED IN ACCORDANCE WITH G13/AS1 TABLE 5	

DRAIN LEAK TEST IS TO BE CARRIED OUT AS REQUIRED BY CLAUSE 8.0 EI/AS1 AND CLAUSE 4.0 G13/AS2.

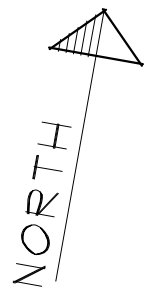
- ORGT - GULLY TRAP 150 MM BELOW FFL MIN 100 MM ABOVE GROUND
- GROUND CLEARANCES TO GROUND:
-TO PAVING, DRIVEWAY 150MM
-NATURAL GROUND 225 MM
- TEMPORARY FENCE TO COMPLY WITH NZBC F5 CONSTRUCTION AND DEMOLITION DEMOLITION HAZARDS
- NOTE: " BEDDING " AND " BACKFILLING " OF DRAINS COMPLIANT WITH G13/AS2 FIG 1
- NOTE: ALL DOWNPIPES 63 MM DIAMETER

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- NOTE: DRAINS LAID AT A GRADIENT OF 1:80 OR LESS A VARIABLE LEVELLING DEVICE SHALL BE USED TO ENSURE UNIFORM AND ACCURATE GRADIENTS. (G13/AS2 CLAUSE 5.22)
- NOTE: SEE OWNER FOR CLOTHESLINE , LETTERBOX BIN , HEAT PUMP UNIT (IF APPLICABLE) AND FENCES AND GATES
- = 1:100 FALLS TO PAVING
- NOTE: ALL ENTRIES AND EXITS TO COMPLY WITH N.Z.B.C. DI, AS1 . TREAD MINIMUM 280 MM , RISER MAXIMUM 190 MM. NON-SLIP FINISH TO TREADS
- NOTE: SLIP RESISTANCE FOR WALKING SURFACES TO BE COMPLIANT WITH DI - AS1 TABLE 2 , CLAUSE 2.1.1 AND COMMENTS 1 AND 2

- DRAIN SCHEDULE**
- IP INSPECTION POINT
 - DP DOWNPIPE
 - RP RODDING POINT
 - GT GULLY TRAP

AREAS:	
PROPOSED RESIDENCE	240.24 M²
LAND	601 M²
SITE COVERAGE	39.97 %



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CAMERON RESIDENCE 11 CRETE ROAD RANGIORA